



Please check the appropriate box(es) and refer to supplemental forms for submittal requirements. All fees must be paid at the time of application.

MISCELLANEOUS APPLICATIONS	<input type="checkbox"/> Extension of Infrastructure List or IIA (<i>Form S3</i>)
<input type="checkbox"/> Site Plan Administrative DFT (<i>Forms SP & P2</i>)	PRE-APPLICATIONS
<input type="checkbox"/> Final EPC Sign-off for Master Development/Site Plans - EPC (<i>Form P2</i>)	<input type="checkbox"/> Sketch Plat Review and Comment (<i>Form S3</i>)
<input type="checkbox"/> Infrastructure List or Amendment to Infrastructure List (<i>Form S3</i>)	<input type="checkbox"/> Sketch Plan Review and Comment (<i>Form S3</i>)
<input type="checkbox"/> Temporary Deferral of S/W (<i>Form S3</i>)	APPEAL
<input type="checkbox"/> Extension of IIA: Temp. Def. of S/W (<i>Form S3</i>)	<input type="checkbox"/> Decision of Site Plan Administrative DFT (<i>Form A</i>)

BRIEF DESCRIPTION OF REQUEST

APPLICATION INFORMATION		
Applicant/Owner:		Phone:
Address:		Email:
City:	State:	Zip:
Professional/Agent (if any):		Phone:
Address:		Email:
City:	State:	Zip:
Proprietary Interest in Site:	List <u>all</u> owners:	

SITE INFORMATION (Accuracy of the existing legal description is crucial! Attach a separate sheet if necessary.)		
Lot or Tract No.:	Block:	Unit:
Subdivision/Addition:	MRGCD Map No.:	UPC Code:
Zone Atlas Page(s):	Existing Zoning:	Proposed Zoning
# of Existing Lots:	# of Proposed Lots:	Total Area of Site (Acres):

LOCATION OF PROPERTY BY STREETS		
Site Address/Street:	Between:	and:

CASE HISTORY (List any current or prior project and case number(s) that may be relevant to your request.)

I certify that the information I have included here and sent in the required notice was complete, true, and accurate to the extent of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Applicant or <input type="checkbox"/> Agent

FORM P2: SITE PLAN ADMINISTRATIVE – Development Facilitation Team (DFT) as of 12/25/2022**_ SITE PLAN ADMINISTRATIVE – DFT**

A Single PDF file of the complete application including all documents being submitted must be emailed to PLNDRS@cabq.gov. Zipped files or those over 9 MB cannot be delivered via email, in which case the PDF must be provided to City Staff using other online resources such as Dropbox or FTP. The PDF shall be organized in the number order below. Divide the PDF with a title sheet for each of the three documentation sections in **bold** below.

SITE PLAN DOCUMENTATION

- ___ 1) DFT Application form completed, signed, and dated
- ___ 2) Form P2 with all the submittal items checked/marked
- ___ 3) Form P with signatures from Hydrology, Transportation, and ABCWUA
- ___ 4) Zone Atlas map with the entire site clearly outlined and labeled
- ___ 5) Site Plan and related drawings (include a Site Plan key of the sheets submitted)
- ___ 6) Copy of the original approved Site Plan or Master Development Plan (for amendments to or Extensions of the Site Plan)
- ___ 7) Infrastructure List, if required for building of public infrastructure
- ___ 8) Sensitive Lands Site Analysis for new site design in accordance with IDO Section 5-2(C) (The Sensitive Lands Site Analysis form can be obtained online at):
https://documents.cabq.gov/planning/development-review-board/Sensitive_lands_analysis_form.pdf
- ___ 9) Responses to climatic and geographic responsive design considerations (Recommended to promote sustainability, but not required. The Climatic and Geographic Responsiveness form can be obtained online at): [https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2\(D\)ClimaticGeographic_Responsiveness.pdf](https://documents.cabq.gov/planning/IDO/SubmittalFormIDO5-2(D)ClimaticGeographic_Responsiveness.pdf)

SUPPORTIVE DOCUMENTATION

- ___ 10) Completed Site Plan Checklist
- ___ 11) Letter of authorization from the property owner if application is submitted by an agent
- ___ 12) Justification letter describing and justifying the request per the criteria in IDO Section 16-6-5(G)(3)
- ___ 13) Explanation and justification of requested deviations, if any, in accordance with IDO Section 14-16-6-4(P). *Note: If requesting more than allowed by deviation, a Variance – ZHE or Waiver –DHO will be required, as applicable*
- ___ 14) Sites 5 acres or greater: Archaeological Certificate in accordance with IDO Section 14-16-6-5(A) *(not required for Extension)*

___ 15) Landfill disclosure statement per IDO Section 14-16-6-4(S)(5)(d)(2)(d) if site is within a designated landfill buffer zone

___ 16) Architectural Review Committee approval letter if the site is located within a Master Development Plan area or a Framework Plan area

PUBLIC NOTICE DOCUMENTATION

___ 17) Sign Posting Agreement

___ 18) Proof of a Pre-Submittal Neighborhood Meeting per IDO 6-4(C)(1)(b) for new building or multiple new buildings that include a total of more than 100 multi-family residential dwelling units or more than 50,000 square feet of non-residential development

___ Office of Neighborhood Coordination neighborhood meeting inquiry response

___ Proof of email with read receipt OR Certified Letter offering meeting to applicable associations

___ Completed neighborhood meeting request form(s)

___ If a meeting was requested or held, copy of sign-in sheet and meeting notes **No responses**

___ 19) Required Content of Notice at Submittal per IDO Section 14-16-6-4(K)(1) (not required for an extension)

___ Office of Neighborhood Coordination notice inquiry response

___ Completed notification form(s), proof of additional information provided in accordance with IDO Section 6-4(K)(1)(b)

___ Proof of emailed notice to affected Neighborhood Association representatives

FORM SP: PRE-APPROVALS/SIGNATURES

(Revised 10/26/23)

Legal Description & Location: Atrisco Buisness Park Tract A Unit 1
6625 Bluewater Road

Request Description: Expansion of 90,000 gsf manufacturing building and associated parking/drive aisles. Seeking DFT Site Plan Approval

Hydrology:

- Sensitive Lands Analysis (5-2(C)) Approved NA
- Grading and Drainage Plan X Approved NA
- AMAFCA Approved X NA
- Bernalillo County Approved X NA
- NMDOT Approved X NA
- MRGCD Approved X NA

Renee C. Brissette
 Hydrology Department

01/04/24
 Date

Transportation:

- Traffic Circulations Layout (TCL) X Approved NA
- Traffic Impact Study (TIS) X Approved ^{Conditional on} NA
- Neighborhood Impact Analysis (NIA) Approved ^{NMDOT} X NA
- Bernalillo County Approved X NA
- MRCOG Approved X NA
- NMDOT X Approved ^{Minor comments} NA
- MRGCD Approved X NA

Ernest Armijo
 Transportation Department

1/30/2024
 Date

Albuquerque Bernalillo County Water Utility Authority (ABCWUA):

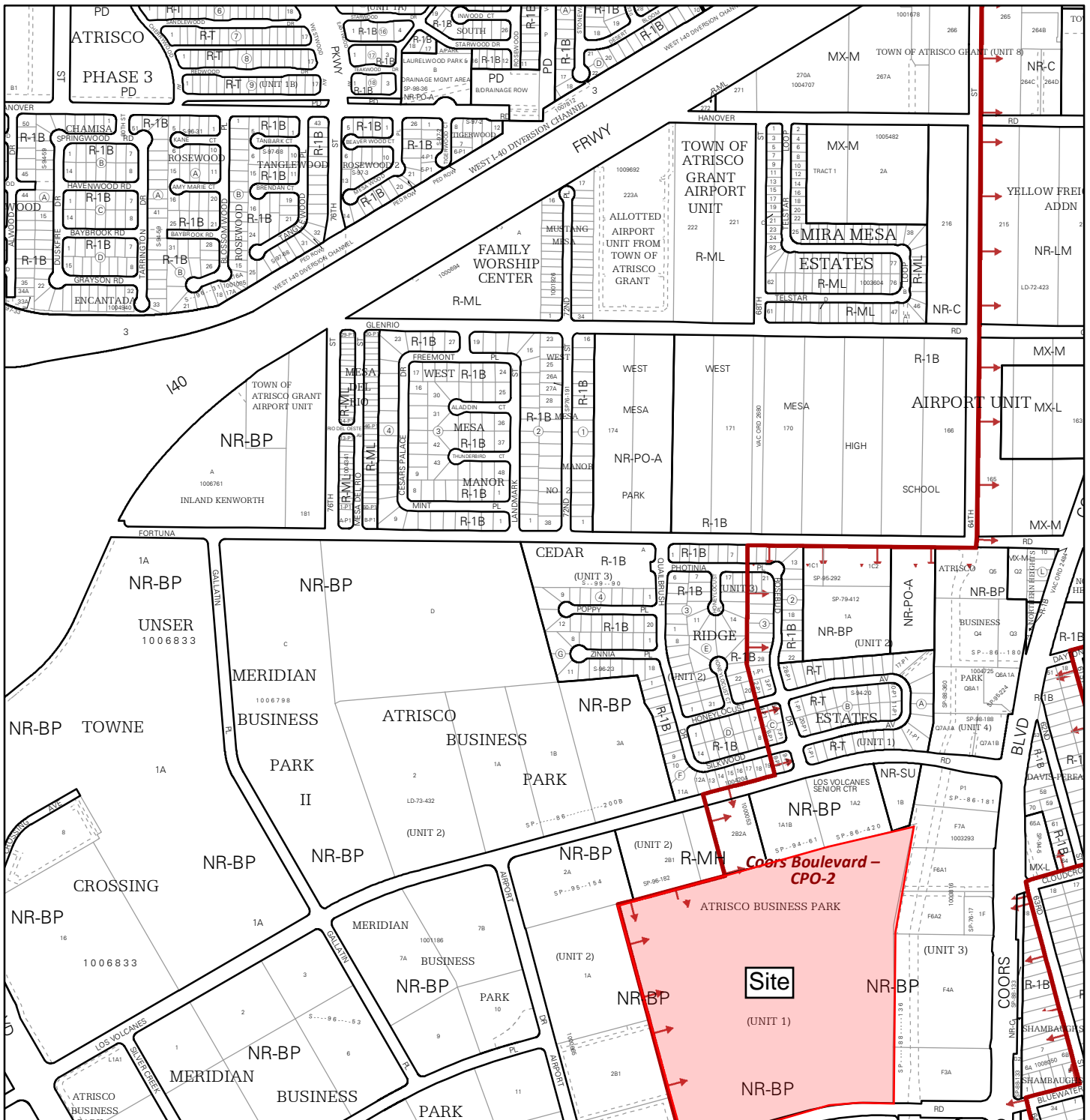
- Request for Availability submitted? Yes No NA
- Availability Statement/Serviceability Letter Number 231023
- Note: Commitment for service is required prior to application approval.

Art Aguirre
 ABCWUA

01/08/2024
 Date

- Infrastructure Improvements Agreement (IIA*) Approved NA
- Solid Waste Department Signature on the Plan Approved NA
- Fire Marshall Signature on the Plan Approved NA

* Prior to **Final Site Plan** approval submittals (include a copy of the recorded IIA)



For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-10-Z

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone

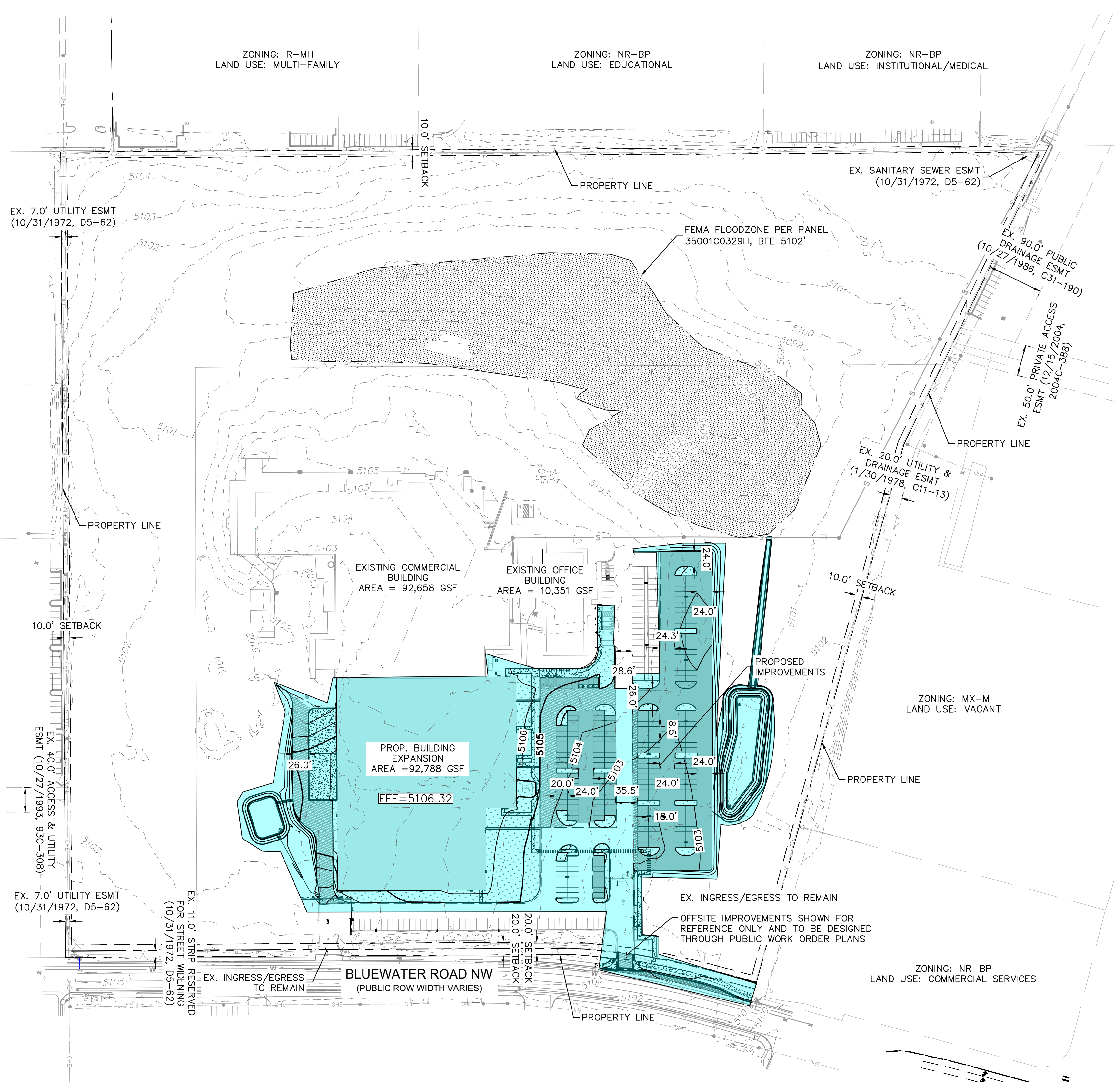
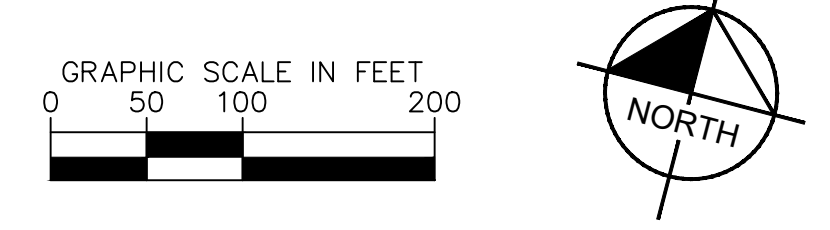
Gray Shading
Represents Area Outside
of the City Limits

0 250 500 1,000
Feet

PROPOSED SITE PLAN SET

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VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



SITE DEVELOPMENT DATA

LEGAL DESCRIPTION:
 • TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

LAND AREA:
 • 39.775 ACRES

ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK
 PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

BUILDING AREAS:
 • EXISTING - ±103,000 SF
 • PROPOSED - ±92,800 SF
 • TOTAL = ±195,800 SF

DESIGN GUIDELINES:
 • THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO). EFFECTIVE 7/17/2023.

SET BACKS (IDO TABLE 2-5-3):
 • FRONT: 20 FEET
 • SIDE: 10 FEET
 • REAR: 10 FEET

BUILDING HEIGHT (IDO TABLE 2-5-3):
 • ALLOWABLE MAX: 65 FEET
 • EXISTING MAX HEIGHT: 28 FEET
 • PROPOSED MAX HEIGHT: 32 FEET

PROJECT DESCRIPTION

COUNTY: BERNALILLO COUNTY
ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121
OWNER: AMERACE CORPORATION

PROJECT DESCRIPTION:
 • THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF OF BUILDING COVERAGE.

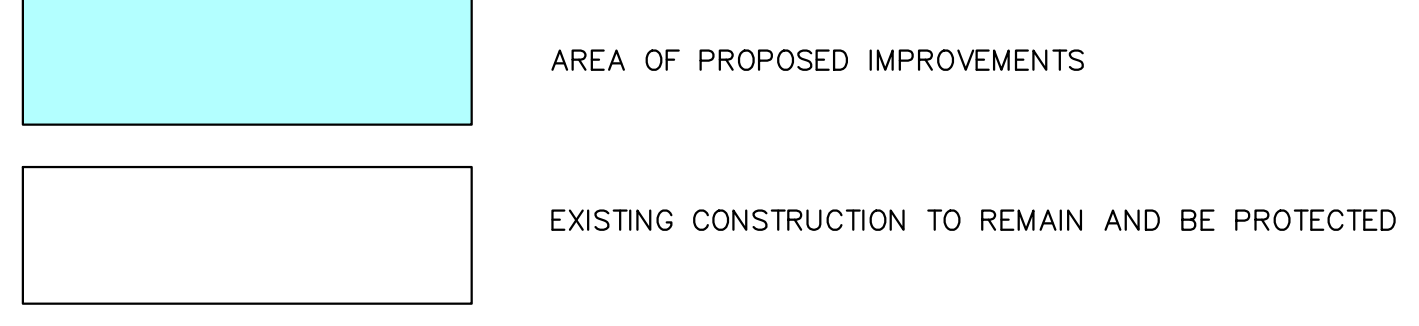
SITE IMPROVEMENTS:
 • THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM
 • EGRESS AND INGRESS POINTS WILL REMAIN THE SAME
 • A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.
 • A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.
 • EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

PARKING CALCULATIONS

PARKING DATA TABLE				
	REQUIRED PER IDO	PROVIDED		
		EXISTING	NEW	TOTAL
TOTAL PARKING	240	99	269	368
ACCESSIBLE (8.5 X 20)	5	2	7	9 (2 VAN)
MOTORCYCLE (4X8 MIN)	6	4	2	6
BICYCLE (4X8)	20	0	20	20
EV CHARGING	0	0	4	4
LOADING SPACES (12X65, 10X25)	2	6 (12X65)	1 (10X25)	7
REQUIRED SPACES	212	89	246	335
STANDARD SIZES (8.5X18)	1 SPACE / 1,000 SF (F-1) = 186 2.5* SPACE / 1,000 SF (B) = 26			

*REDUCED FROM 3.5 TO 2.5 DUE TO 600' FROM MAIN CORRIDOR

LEGEND



REFER TO DETAILED SITE PLAN (SHEET C2.1) FOR DETAILED CALLOUTS



Sheet List Table	
Sheet Number	Sheet Title
C1.0	OVERALL SITE PLAN
C1.1	DETAILED SITE PLAN
C1.2	DETAILED SITE PLAN (OFFSITE)
C1.3	SITE PLAN DETAILS
C2.0	SOLID WASTE PLAN
C3.0	CONCEPT TRAFFIC CIRCULATION LAYOUT
C3.1	SITE TRIANGLES AND DETAILS SHEET
F1	FIRE 1 PLAN
D1	CONCEPTUAL EXISTING DRAINAGE EXHIBIT
D2	CONCEPTUAL GRADING & DRAINAGE PLAN
D3	HYDROLOGY DATA
C4.0	PRIVATE UTILITY PLAN
C5.0	OVERALL LANDSCAPE PLAN
C5.1	DETAILED LANDSCAPE PLAN
C5.2	DETAILED LANDSCAPE PLAN
C5.3	DETAILED LANDSCAPE PLAN
C5.4	DETAILED LANDSCAPE PLAN
C5.5	LANDSCAPE NOTES
C5.6	LANDSCAPE DETAILS
C5.7	LANDSCAPE DETAILS
E1.01	SITE PHOTOMETRICS
A1.0	BUILDING ELEVATIONS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn

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 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 31/01/2024

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

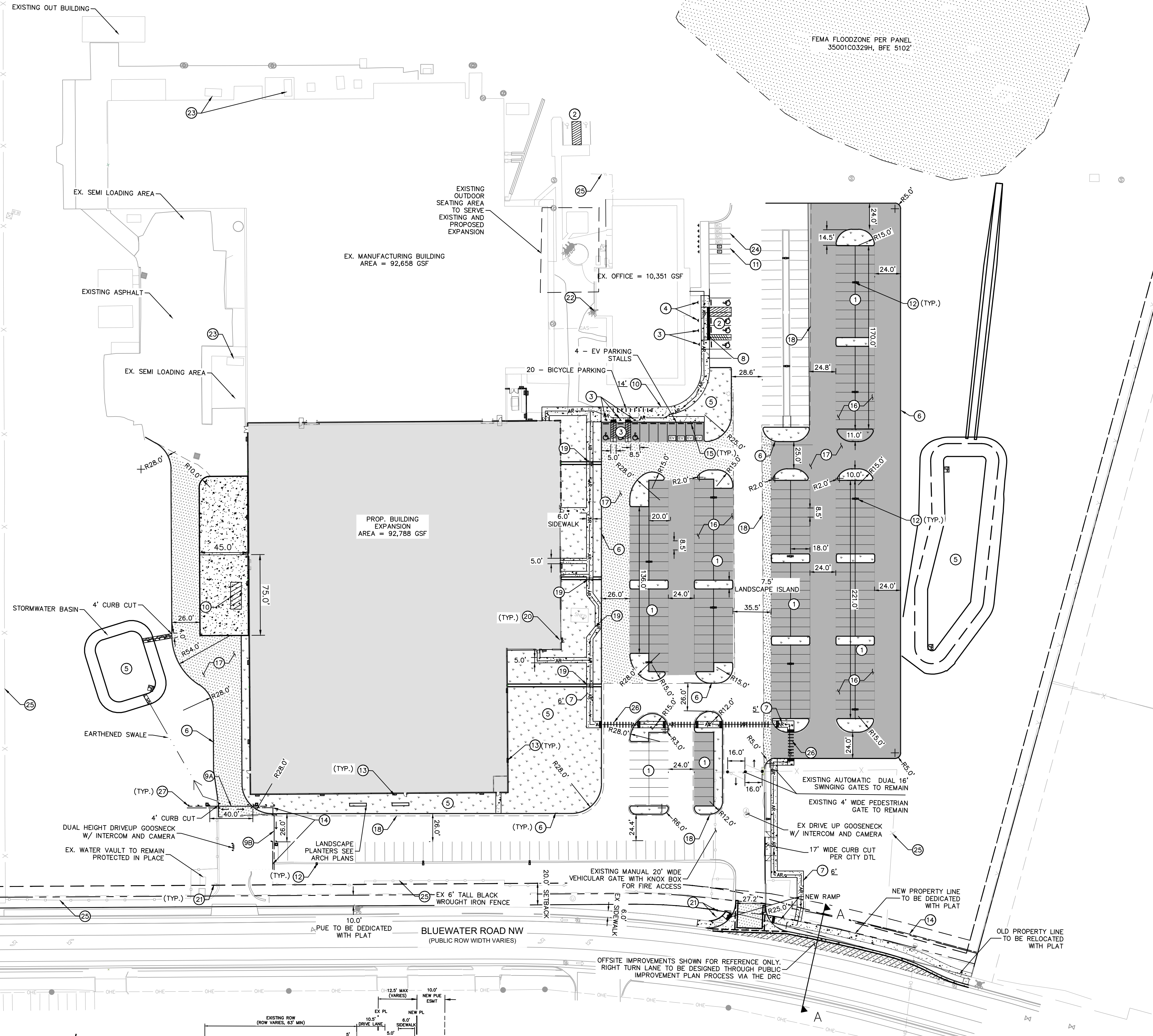
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 OVERALL SITE PLAN



PROJECT NO.
096523009

SHEET
C1.0

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LEGEND:

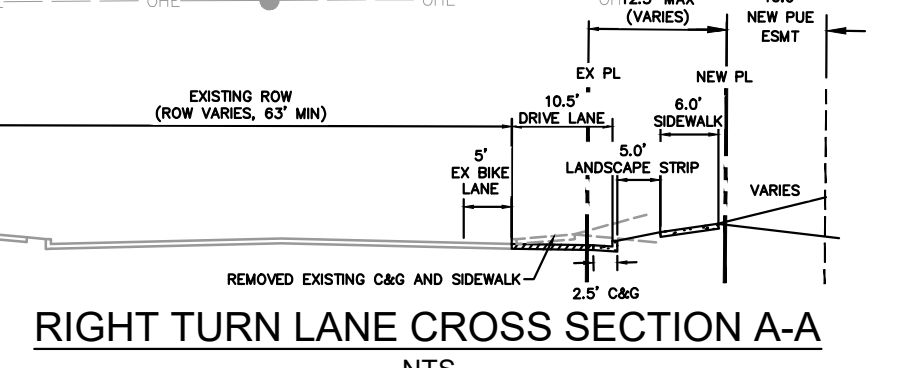
- PROPERTY LINE
- ADJACENT SECTION LINE
- EX. UTILITY ESMT
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊗ EX. FLAGPOLE
- ⊗ EX. SITE LIGHT
- ⊗ EX. SIGN
- PROP. 6" VERTICAL CURB PER CITY DTL
- ▒ PROP. BUILDING (SEE ARCH PLANS)
- ▒ PROP. HEAVY DUTY ASPHALT
- ▒ PROP. LIGHT DUTY ASPHALT
- ▒ PROP. CONCRETE
- ▒ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
- AR ACCESSIBLE ROUTE
- ⊗ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- ⊗ PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- ⊗ PROPOSED SIGN, TYPE PER KEYNOTES

KEYNOTE LEGEND:

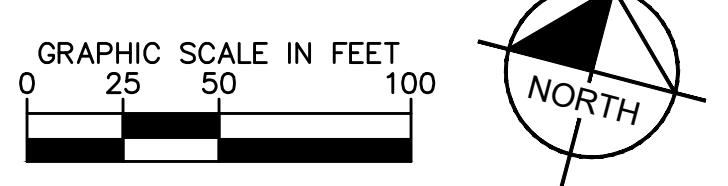
1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
4	VAN ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.3)
5	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK WIDTH PER PLAN (SEE DTL SHEET C3.1)
8	ACCESSIBLE CURB RAMP PER CITY DTL 2441, 2443, 2445, 2448)
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.3)
9B	PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.3)
10	PROP. TEMPORARY LOADING ZONE (10X25)
11	PROP. MOTORCYCLE STALL (4' X 8') W/ MOTORCYCLE PARKING SIGN
12	NEW LIGHT POLE (SEE LIGHTING PLANS)
13	NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14	NEW 6" BLACK WROUGHT IRON FENCE (SEE SHEET C1.3)
15	WHEEL STOP
16	LIGHT DUTY PAVEMENT (SEE DTL SHEET C3.1)
17	HEAVY DUTY PAVEMENT (SEE DTL SHEET C3.1)
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDs
27	BOLLARDS PER CITY DETAIL 2250

DIMENSION NOTES:

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
- REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
- ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.



NOTE: OFFSITE IMPROVEMENTS SHOWN FOR REFERENCE ONLY. IMPROVEMENTS TO BE DESIGNED AND APPROVED THROUGH THE PUBLIC IMPROVEMENT PROCESS THROUGH THE ALBUQUERQUE DESIGN REVIEW COMMITTEE AND SHOULD NOT BE COMMENTED ON OR REVIEWED BY ABQ DFT



NO.	REVISION	BY	DATE

Kimley»Horn

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6200 South Syracuse Way, Suite 500
Greenwood Village, Colorado 80111 (303) 228-2300

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DRAWN BY: MEJ
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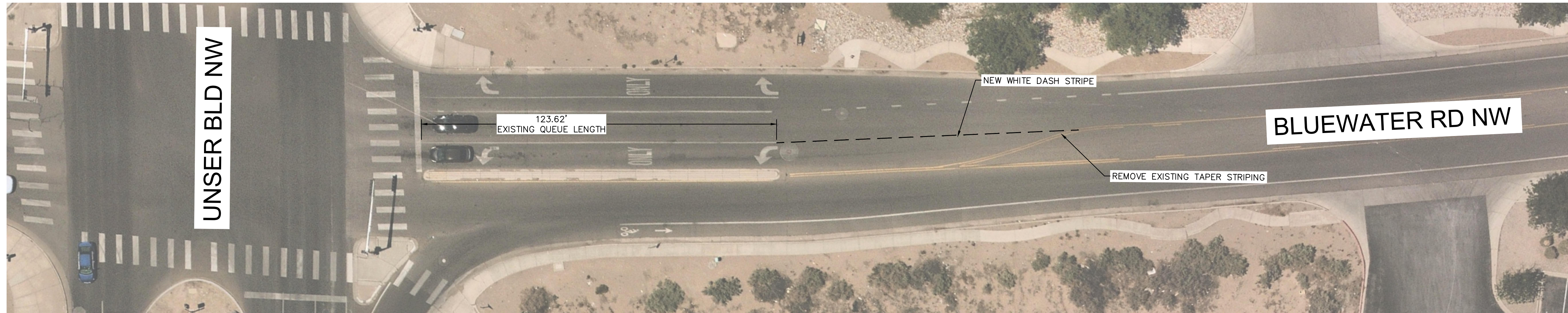
LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6825 BLUEWATER ROAD NW
SITE PLAN - DFT
DETAILED SITE PLAN

PROJECT NO.
096523009

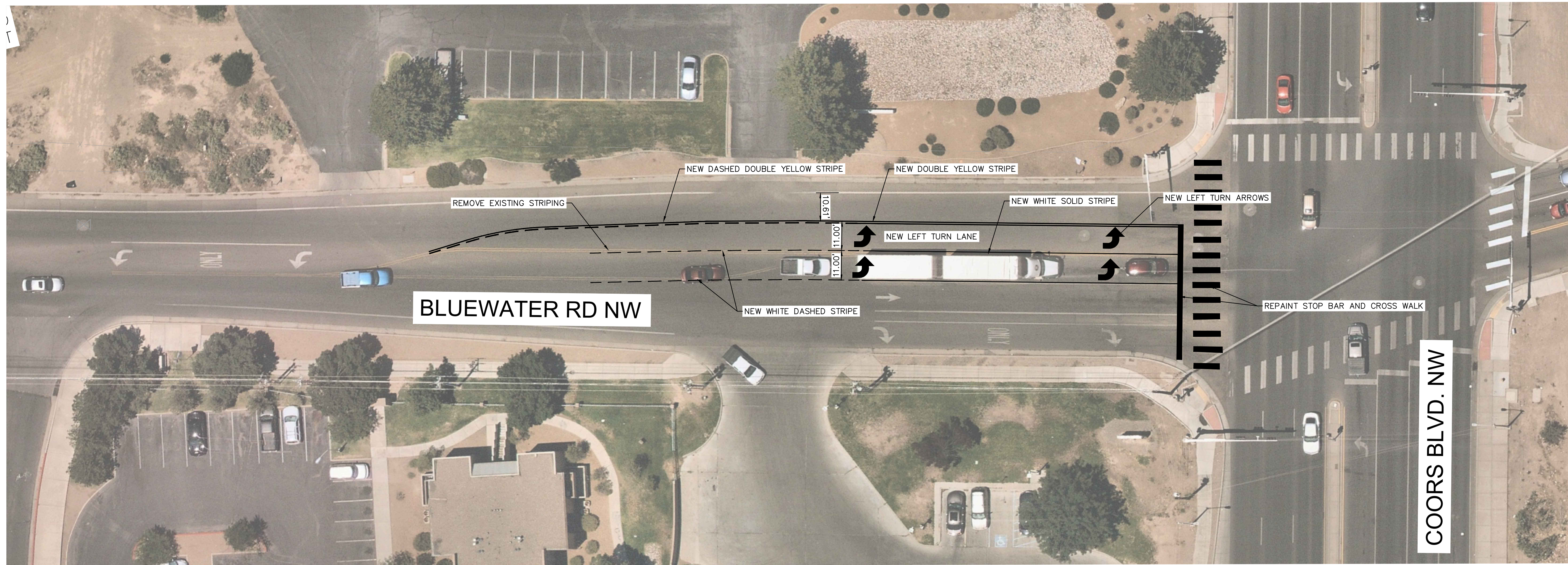
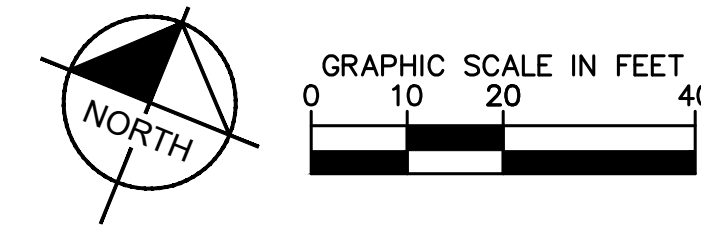
SHEET
C1.1

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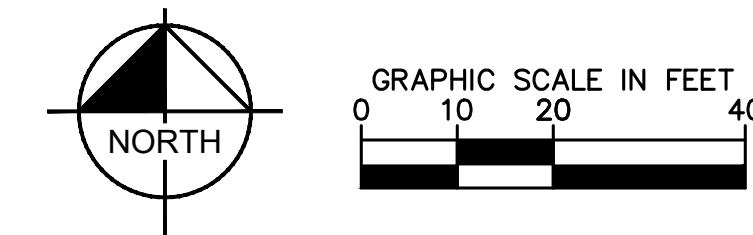
WBL BLUEWATER ROAD NW & UNSER BLVD NW NW LEFT TURN STRIPING

FOR REFERENCE ONLY



EBL BLUEWATER ROAD NW & COORS BLVD NW LEFT TURN STRIPING

FOR REFERENCE ONLY



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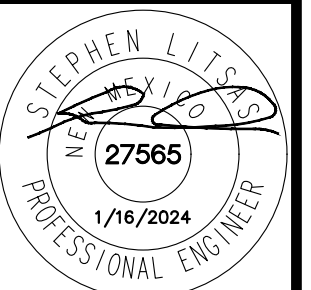
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LEGAL DESCRIPTION:
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PARK UNIT 1 CONTAINING
39.775 ACRES

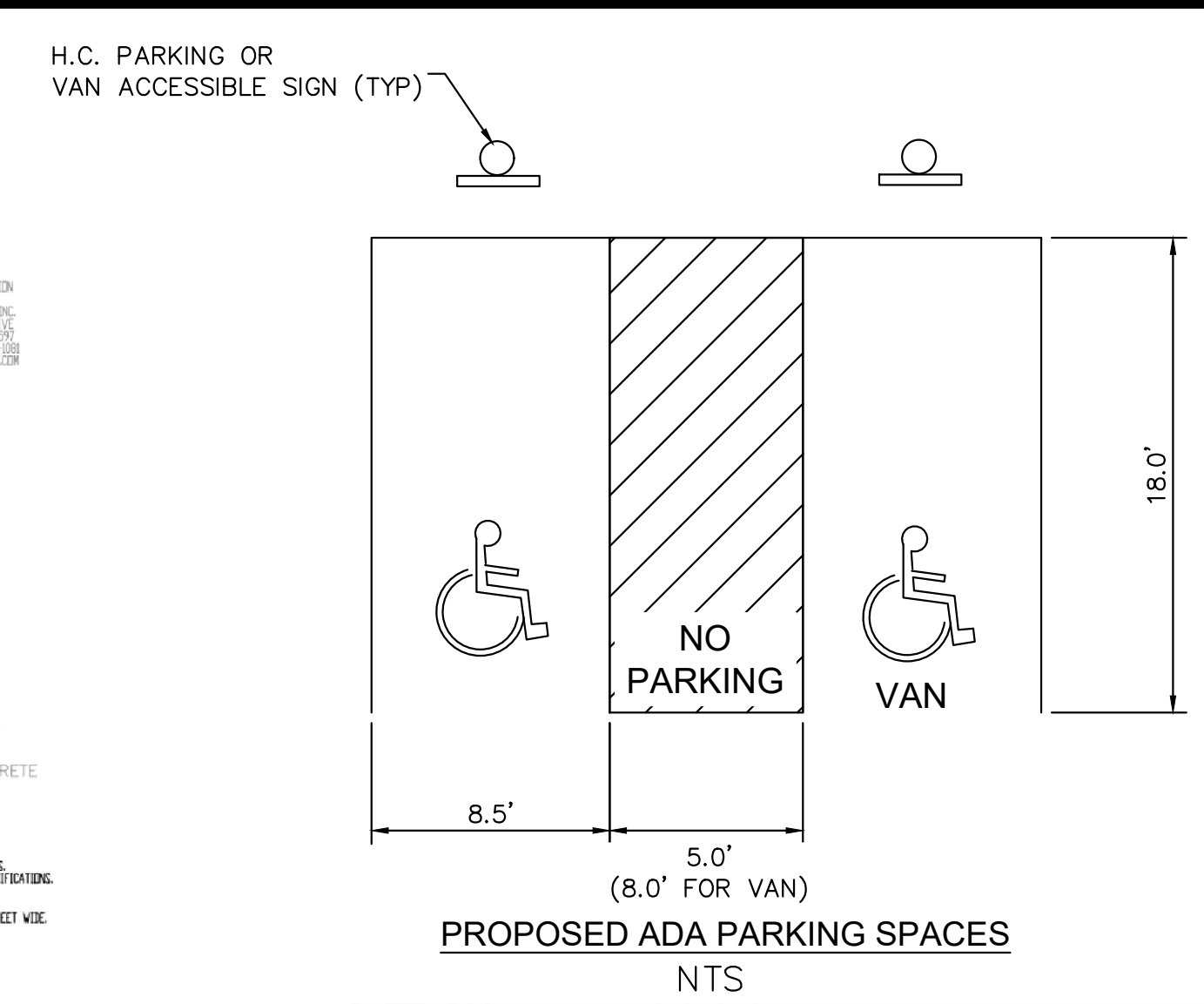
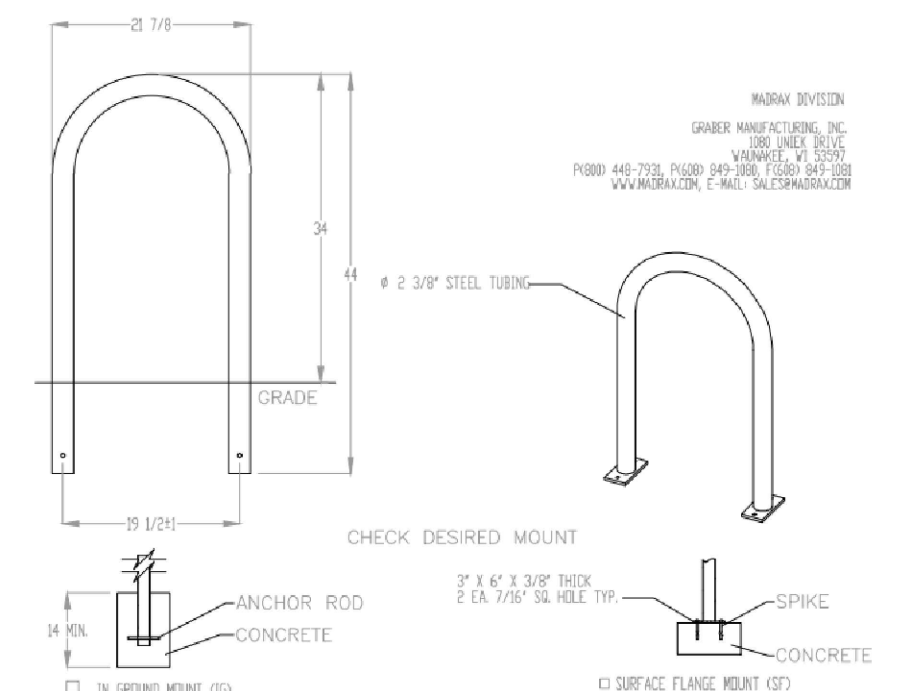
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
DETAILED SITE PLAN (OFFSITE)



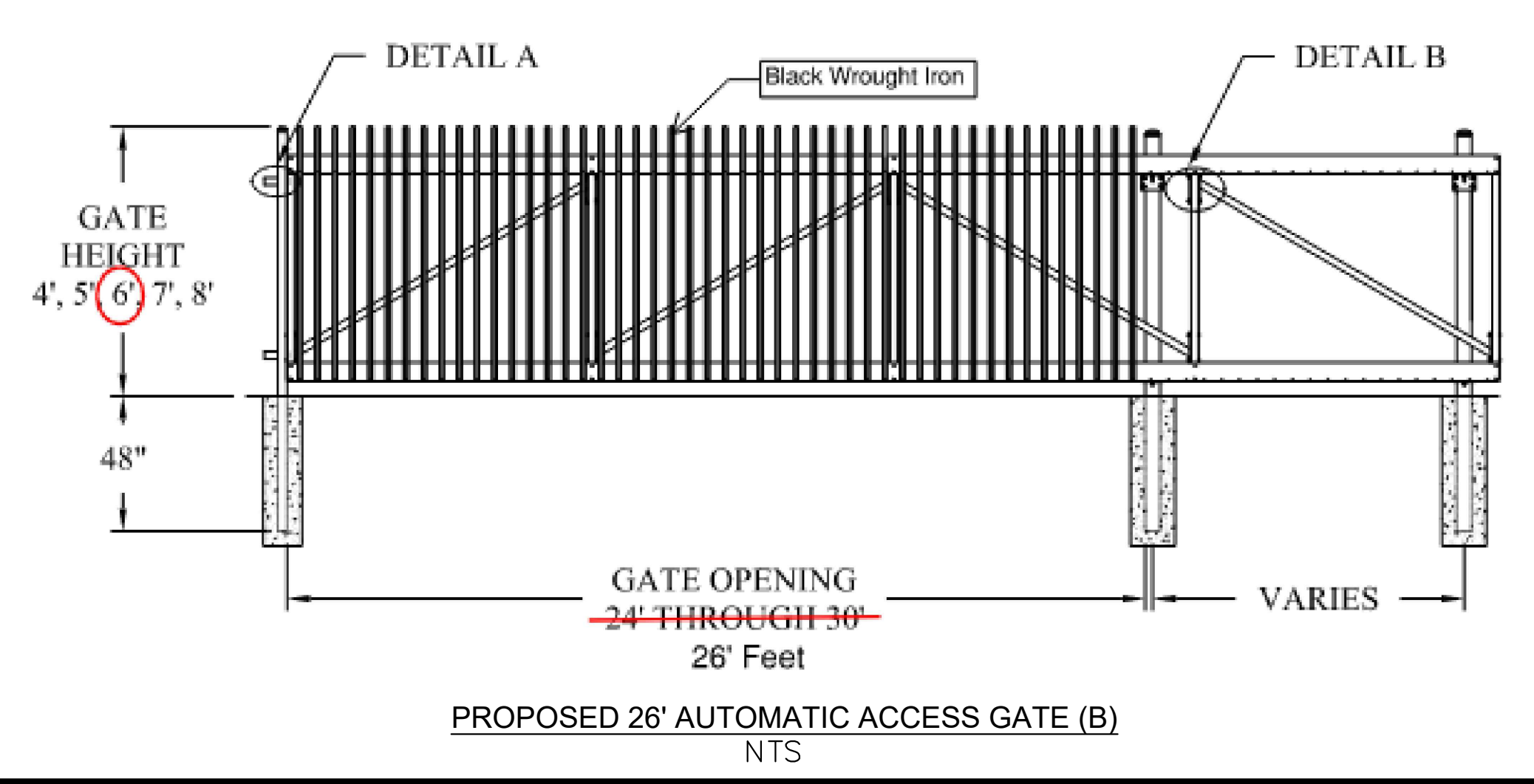
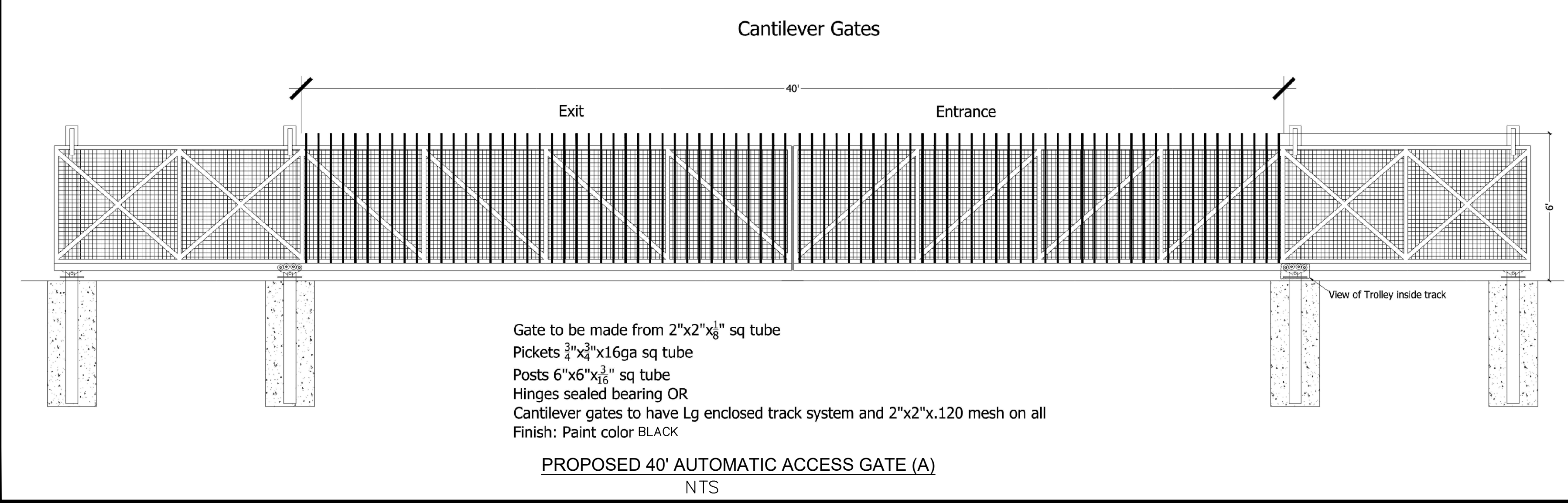
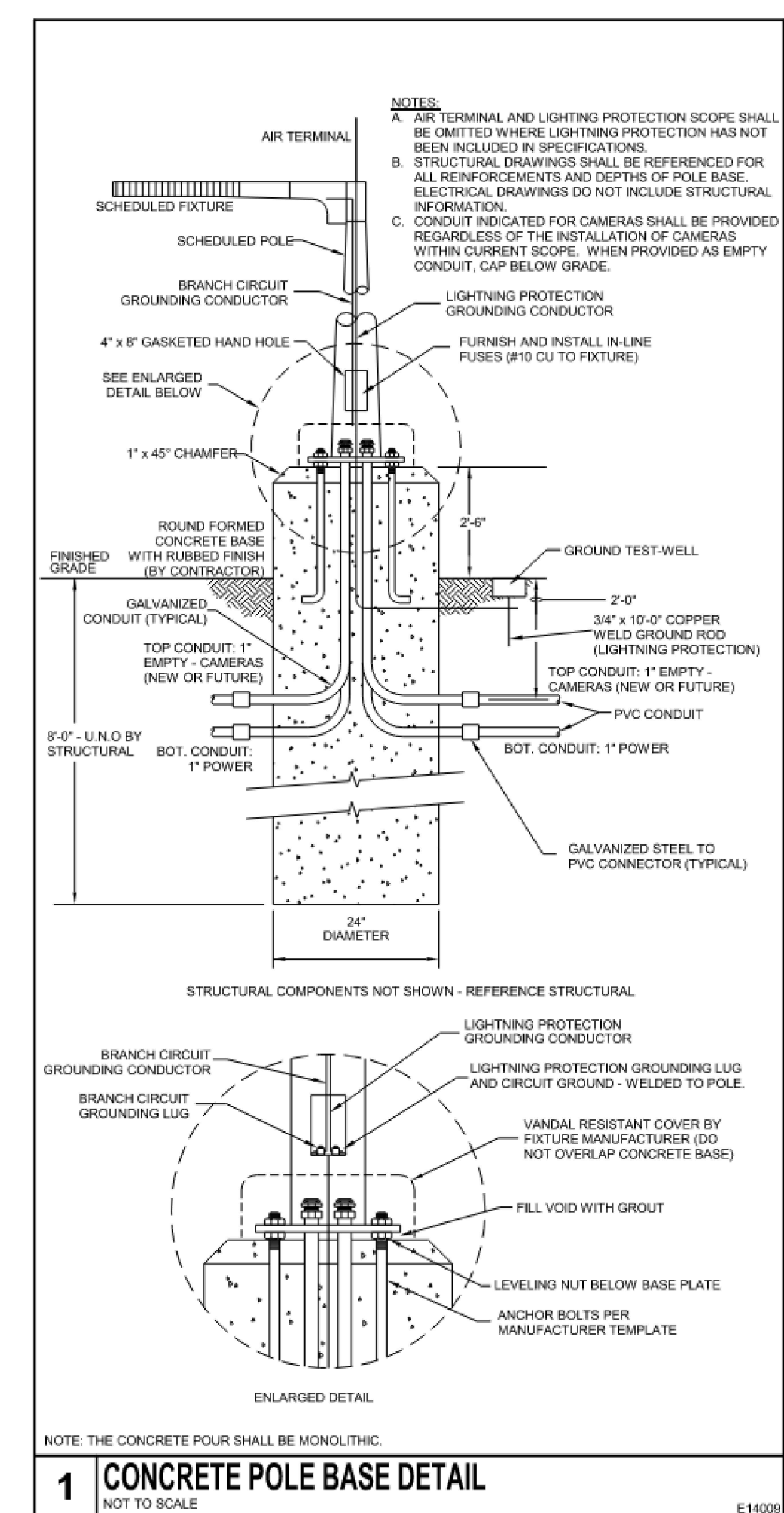
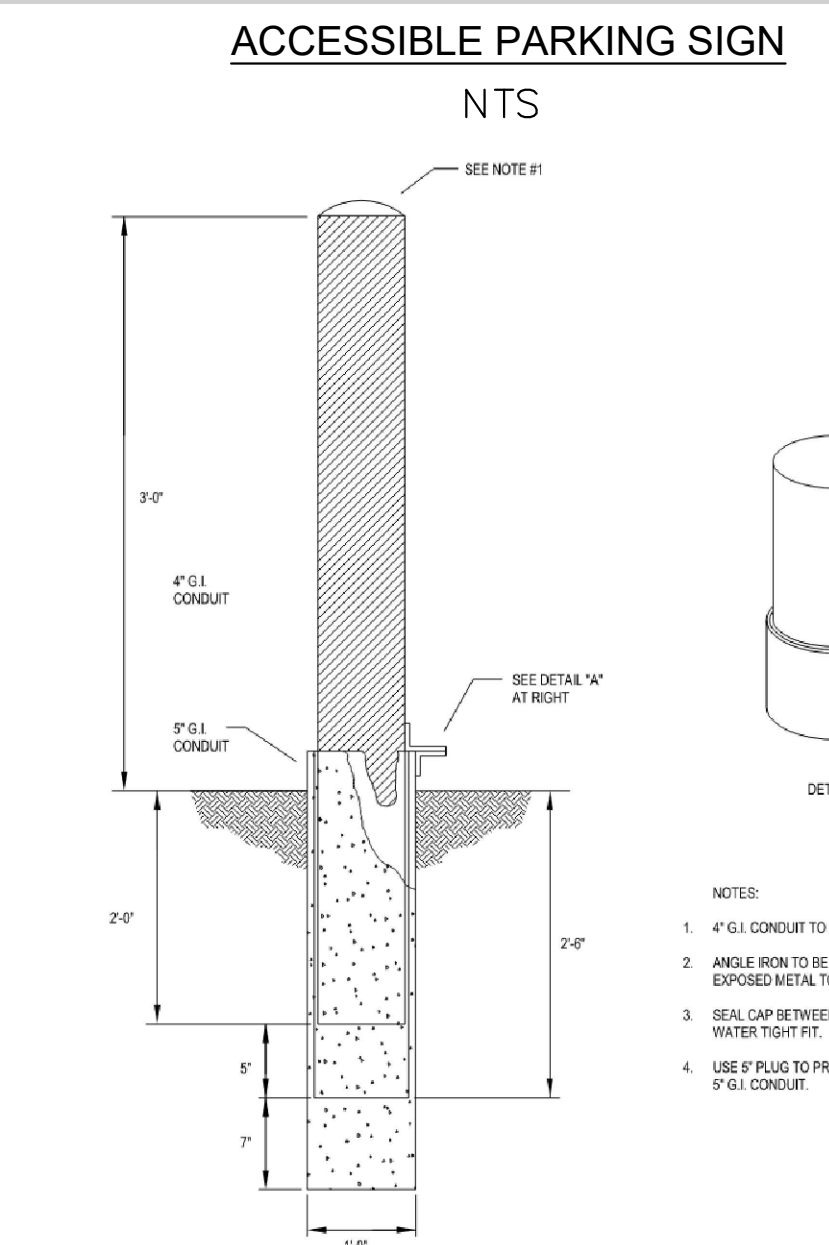
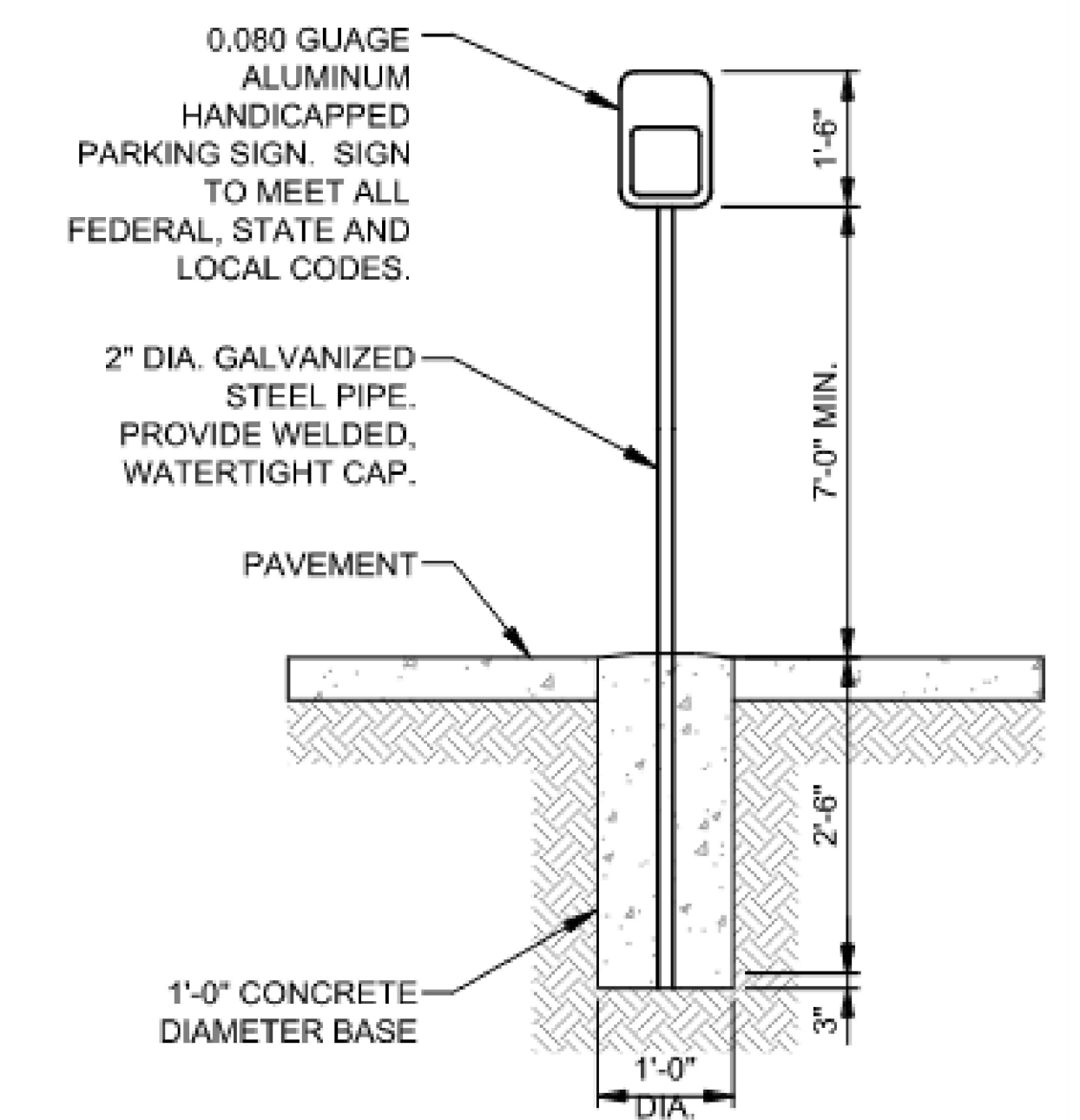
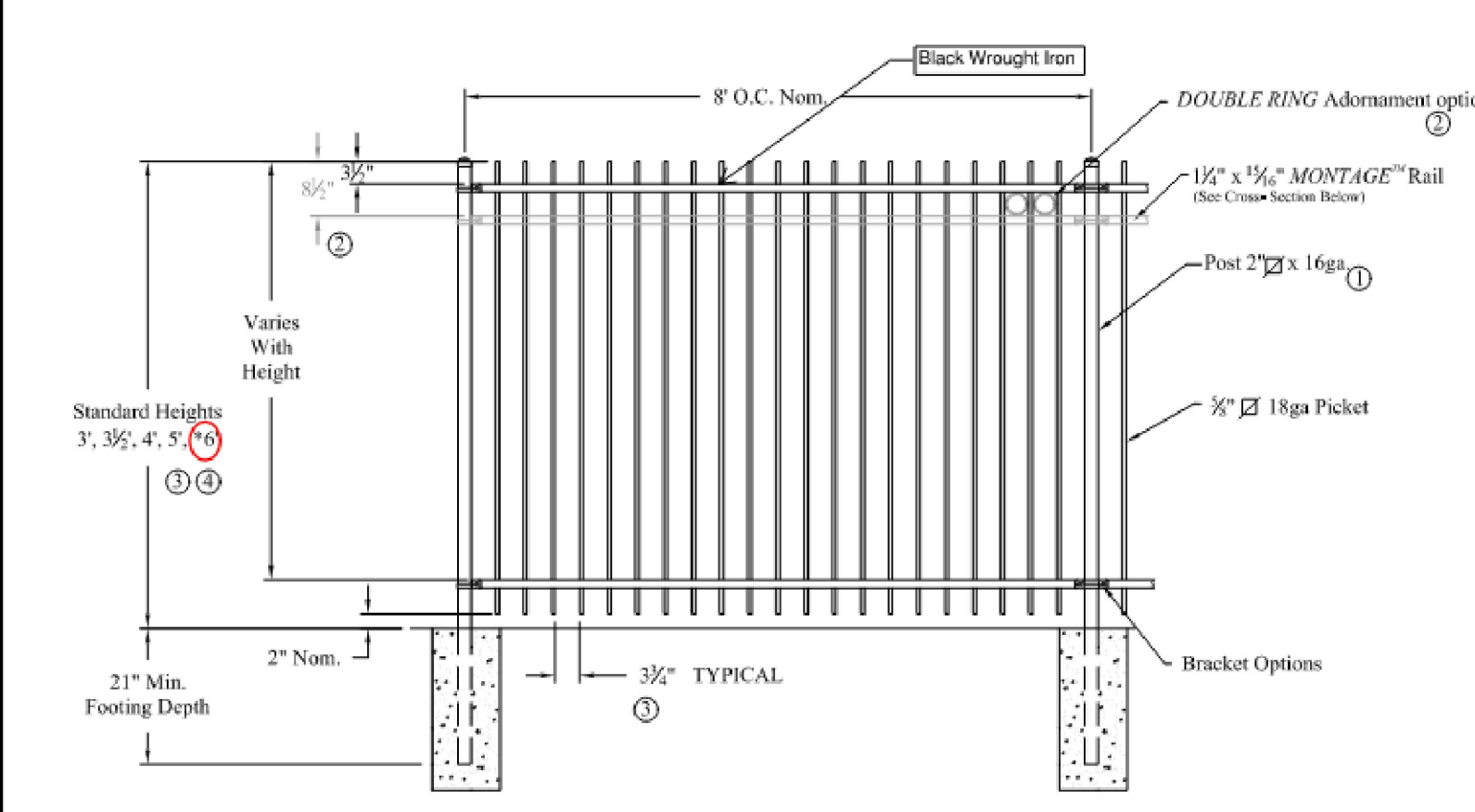
PROJECT NO.
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SHEET
C1.2

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NOTE:
1- PARKING SPACE AND ACCESS AISLES SHALL HAVE OSHA SAFETY BLUE STRIPING. STRIPING SHALL BE 4" WIDE. ACCESS AISLES STRIPING SHALL BE 30" ON CENTER. ACCESS AISLE SHALL HAVE THE WORDS "NO PARKING" IN CAPITAL LETTER OF WHICH SHALL BE AT LEAST ONE FOOT HIGH AND AT LEAST TWO INCHES WIDE PLACED AT THE REAR OF THE PARKING SPACES SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S REAR TIRES WOULD BE PLACED.



NO.	REVISION	BY	DATE

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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 31/01/2024

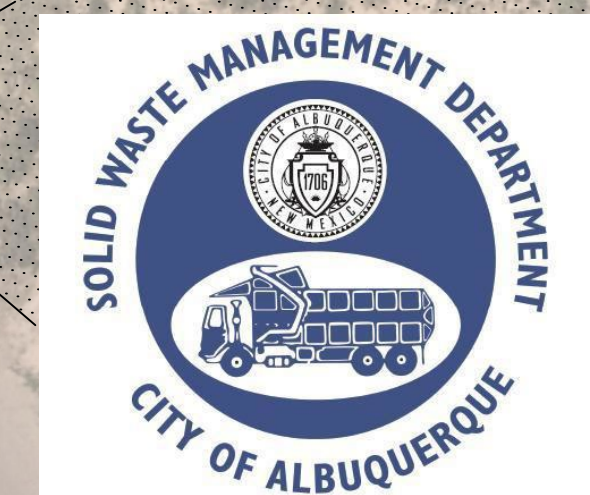
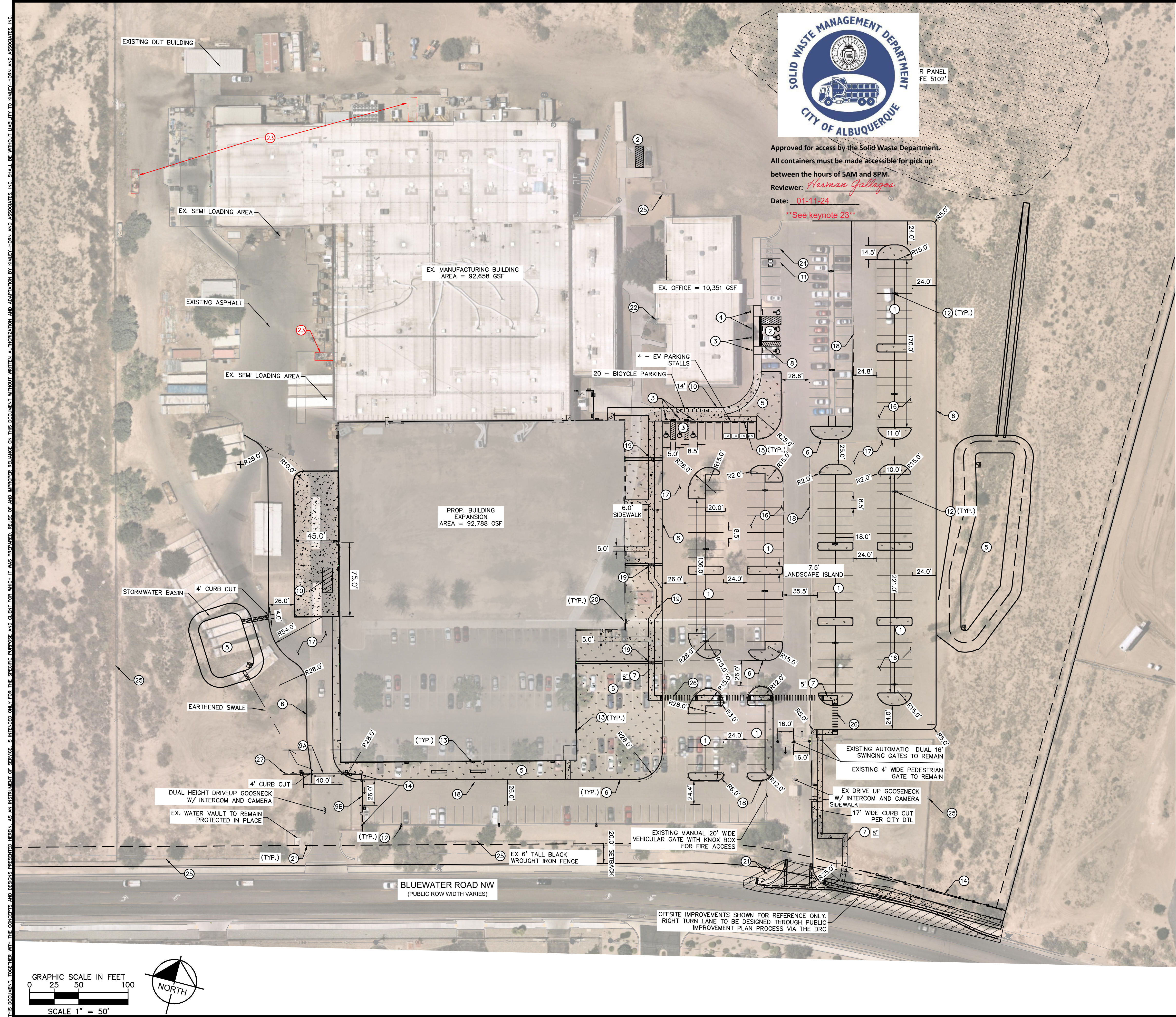
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TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
SITE PLAN DETAILS

STEPHEN L. LIPS
27565
1/16/2024
PROFESSIONAL ENGINEER

PROJECT NO.
096523009

SHEET
C1.3



Approved for access by the Solid Waste Department.
 All containers must be made accessible for pick up
 between the hours of 5AM and 8PM.
 Reviewer: *Herman Gallegos*
 Date: 01-11-24
 See keynote 23

LEGEND:

- PROPERTY LINE
- - - ADJACENT SECTION LINE
- - - EX. UTILITY ESMT
- - - EX. WROUGHT IRON FENCE
- - - EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊗ EX. FLAGPOLE
- ⊗ EX. SITE LIGHT
- ⊗ EX. SIGN
- PROP. 6" VERTICAL CURB PER CITY DTL
- ▭ PROP. BUILDING (SEE ARCH PLANS)
- ▭ PROP. HEAVY DUTY ASPHALT
- ▭ PROP. LIGHT DUTY ASPHALT
- ▭ PROP. CONCRETE
- ▭ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
- AR ACCESSIBLE ROUTE
- ⊗ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- ⊗ PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- ⊗ PROPOSED SIGN, TYPE PER KEYNOTES

KEYNOTE LEGEND:

1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.2)
4	VAN ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.2)
5	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
8	PROP. ACCESSIBLE CURB RAMP
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.2)
9B	PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.2)
10	PROP. TEMPORARY LOADING ZONE (10X25)
11	PROP. MOTORCYCLE STALL (4' X 8' MIN)
12	NEW LIGHT POLE (SEE LIGHTING PLANS)
13	NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14	NEW 6' BLACK WROUGHT IRON FENCE (SEE SHEET C1.2)
15	WHEEL STOP
16	LIGHT DUTY PAVEMENT
17	HEAVY DUTY PAVEMENT
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING 30 YARD OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDS
27	BOLLARDS PER CITY DETAIL 2250

DIMENSION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
3. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
4. ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
 ©2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

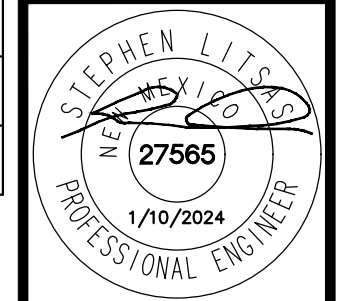
DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 10/01/2024

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

ABB ABQ ADDITION
 6825 BLUEWATER ROAD NW
 SITE PLAN - DFT
 SOLID WASTE PLAN

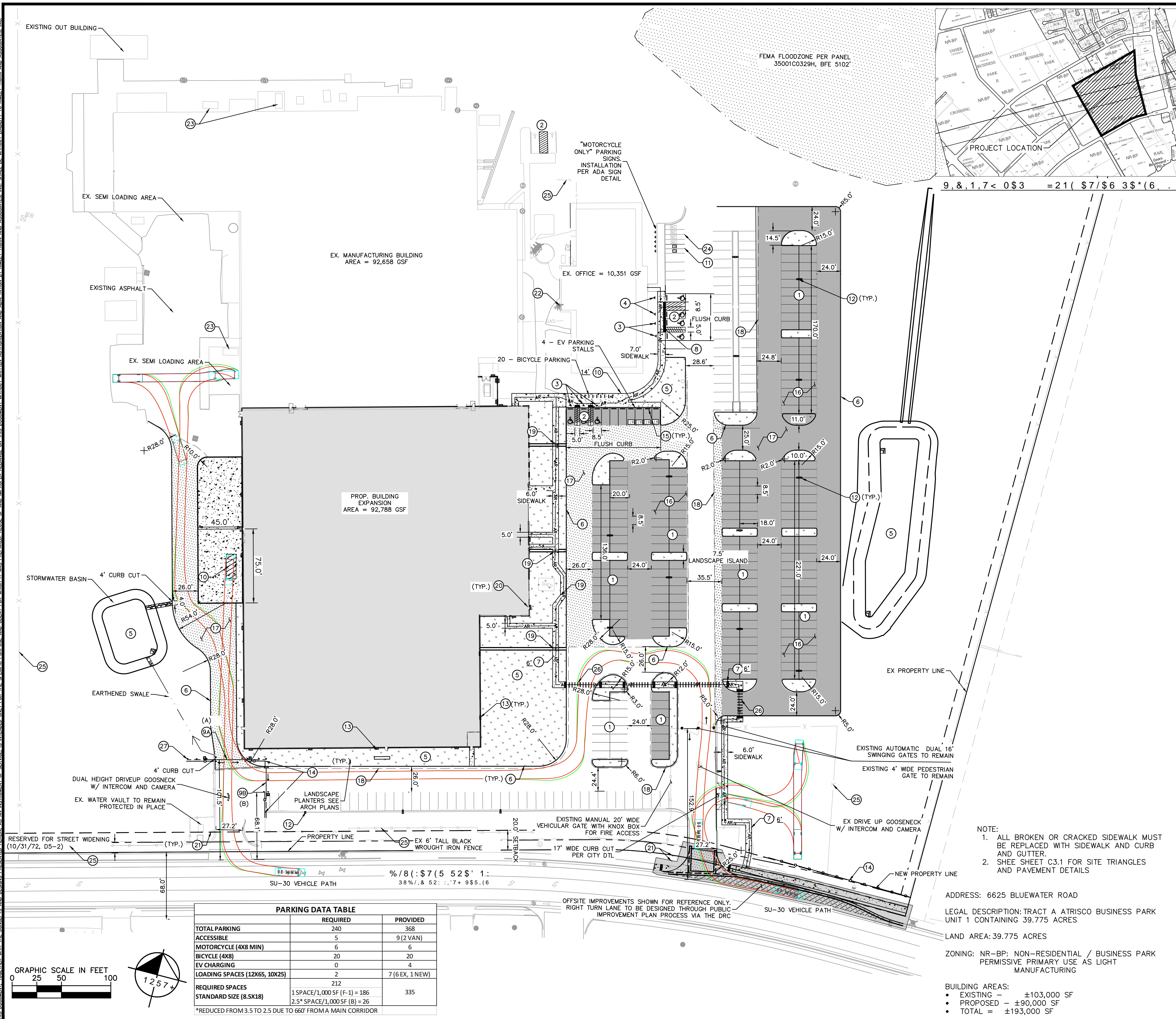
PROJECT NO.
096523009

SHEET
C2.0



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- PROPERTY LINE
- ADJACENT SECTION LINE
- EX. UTILITY ESMT
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- EX. FIRE HYDRANT/VALVE
- EX. FLAGPOLE
- EX. SITE LIGHT
- EX. SIGN
- PROP. 6" VERTICAL CURB PER CITY DTL
- PROP. BUILDING (SEE ARCH PLANS)
- PROP. HEAVY DUTY ASPHALT
- PROP. LIGHT DUTY ASPHALT
- PROP. CONCRETE
- PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
- ACCESSIBLE ROUTE
- PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- PROPOSED SIGN, TYPE PER KEYNOTES

1. PROP. STANDARD 8.5'X18' PARKING STALLS
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5. PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6. PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7. PROP. CONCRETE SIDEWALK WIDTH PER PLAN (SEE DTL SHEET C3.1)
8. ACCESSIBLE CURB RAMP PER CITY DTL 2441, 2443, 2445, 2448
- 9A. PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.2)
- 9B. PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.2)
10. PROP. TEMPORARY LOADING ZONE (10X25)
11. PROP. MOTORCYCLE STALL (4' X 8') W/ MOTORCYCLE PARKING SIGN
12. NEW LIGHT POLE (SEE LIGHTING PLANS)
13. NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14. NEW 6" BLACK WROUGHT IRON FENCE (SEE SHEET C1.2)
15. WHEEL STOP
16. LIGHT DUTY PAVEMENT (SEE DTL SHEET C3.1)
17. HEAVY DUTY PAVEMENT (SEE DTL SHEET C3.1)
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23. EXISTING OPEN TOP ROLL TRASH CONTAINER
24. EX. MOTORCYCLE PARKING (TO REMAIN)
25. EX. SITE SECURITY FENCING (TO REMAIN)
26. PROP. CROSS WALK STRIPING PER CITY STDS
27. BOLLARDS PER CITY DETAIL 2250

- NOTE:
1. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
 2. SHEE SHEET C3.1 FOR SITE TRIANGLES AND PAVEMENT DETAILS
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
1. ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 2. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
 3. ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

PARKING DATA TABLE		
	REQUIRED	PROVIDED
TOTAL PARKING	240	358
ACCESSIBLE	5	9(2 VAN)
MOTORCYCLE (4X8 MIN)	6	6
BICYCLE (4X8)	20	20
EV CHARGING	0	4
LOADING SPACES (12X65, 10X25)	2	7 (6 EX, 1 NEW)
REQUIRED SPACES	212	
STANDARD SIZE (8.5X18)	1 SPACE/1,000 SF (F-1) = 186	335
	2.5" SPACE/1,000 SF (B) = 26	
*REDUCED FROM 3.5 TO 2.5 DUE TO 660' FROM A MAIN CORRIDOR		

DATE: 1/16/2024

BY: [Signature]

REVISION: [Table]

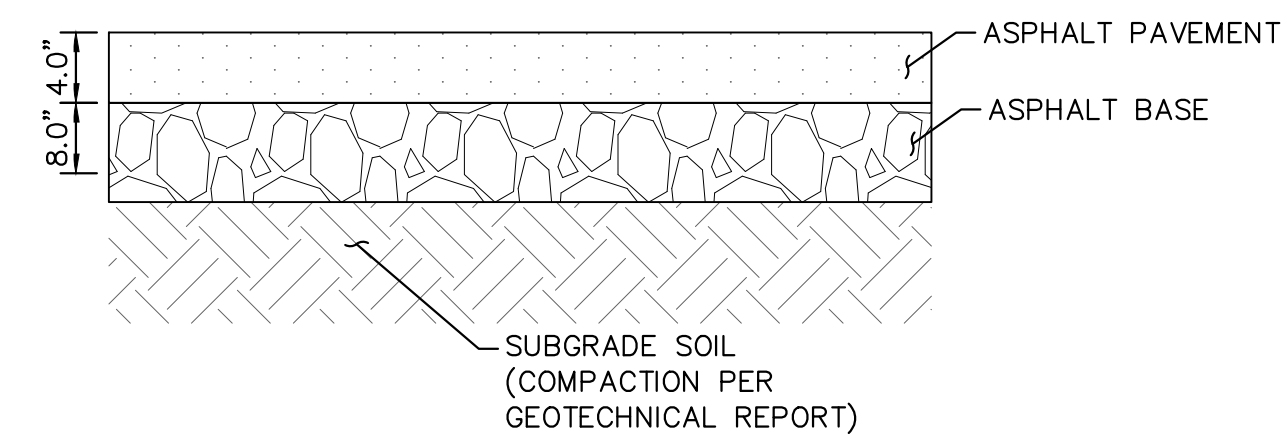
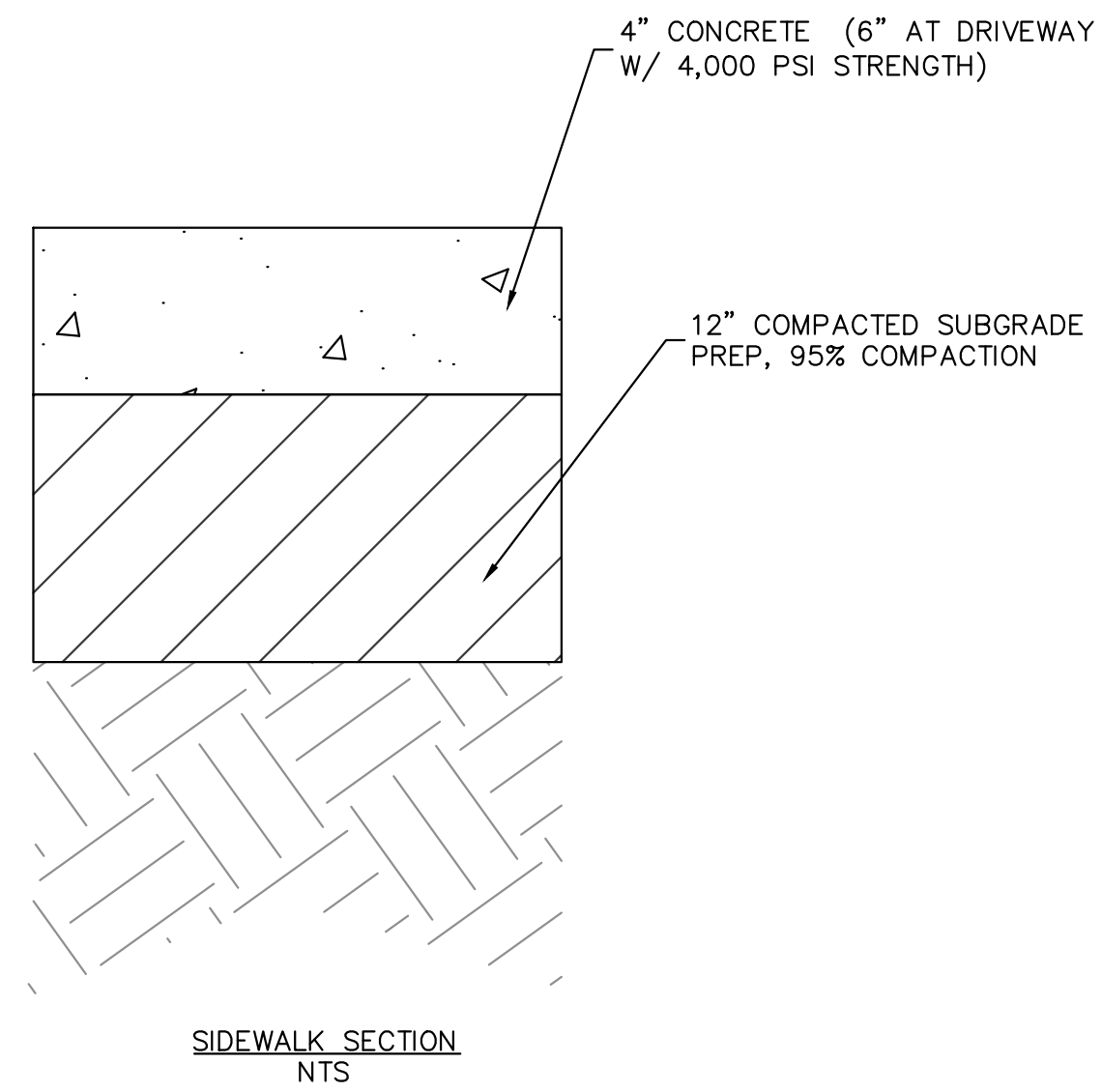
Kimley»Horn

27565
1/16/2024
PROFESSIONAL ENGINEER

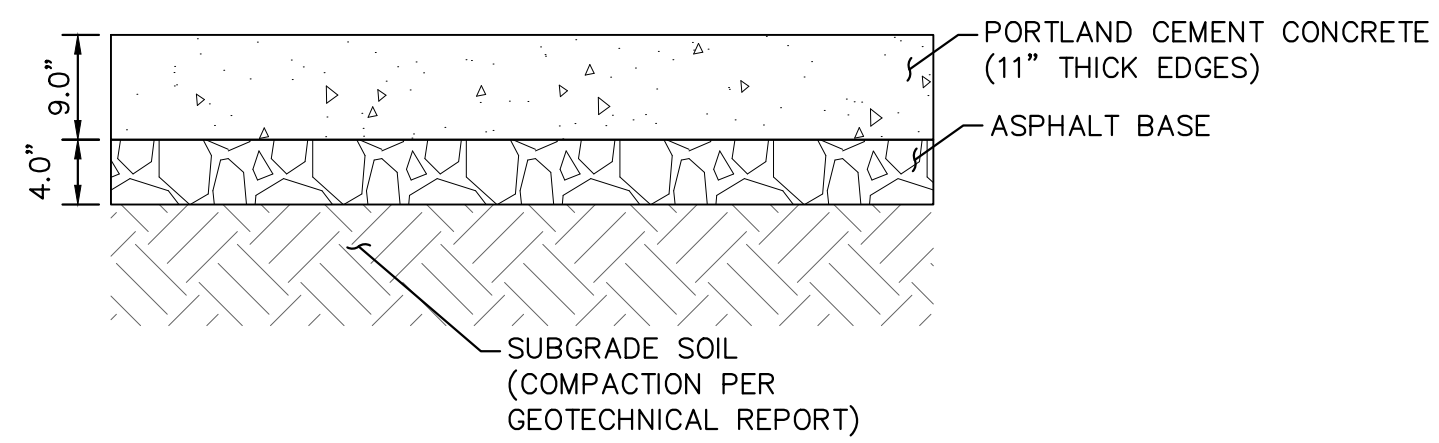
PROJECT NO.
096523009

SHEET
C3.0

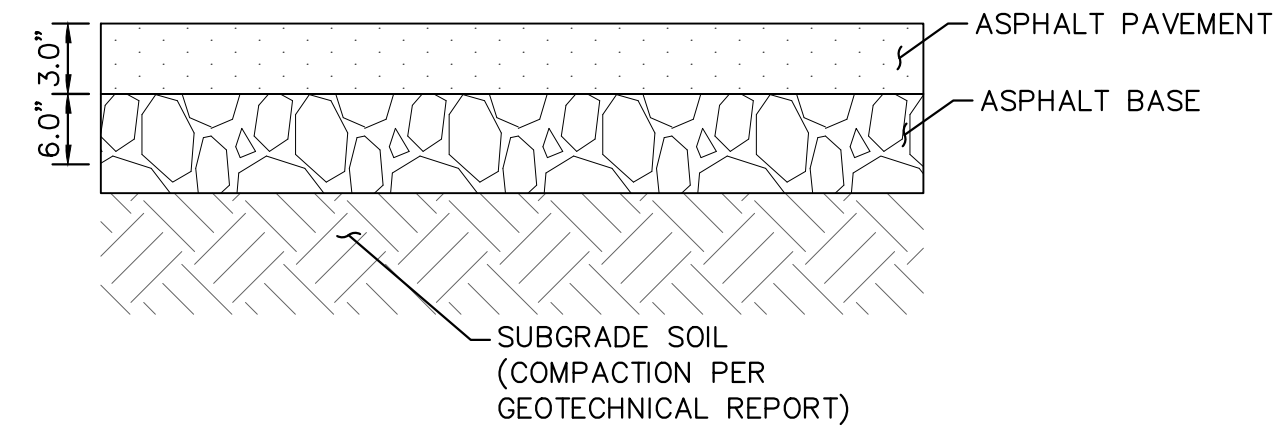
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HEAVY DUTY ASPHALT SECTION
N.T.S.

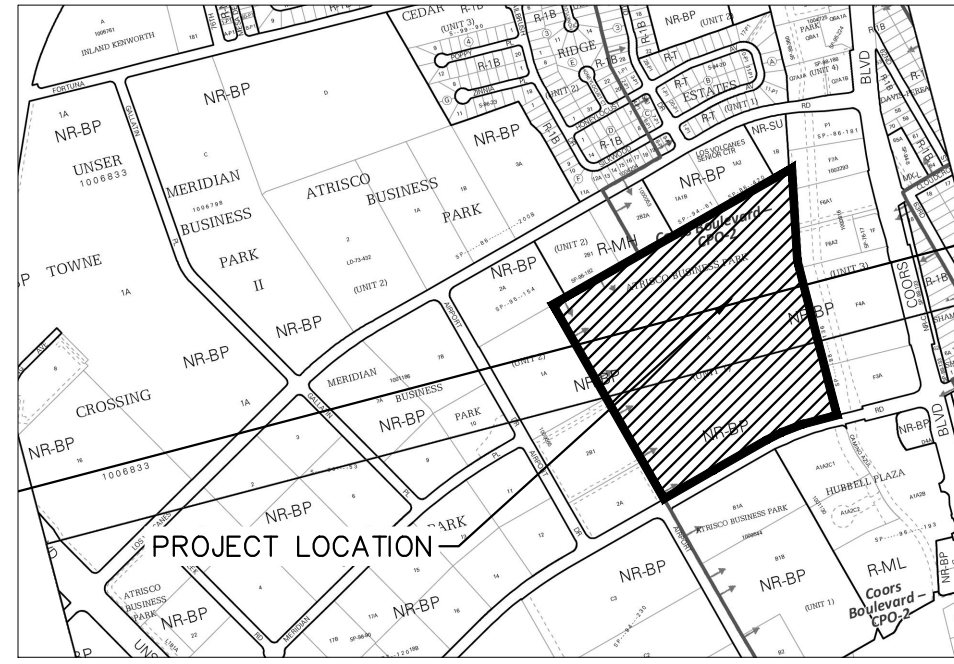


HEAVY DUTY CONCRETE SECTION
N.T.S.



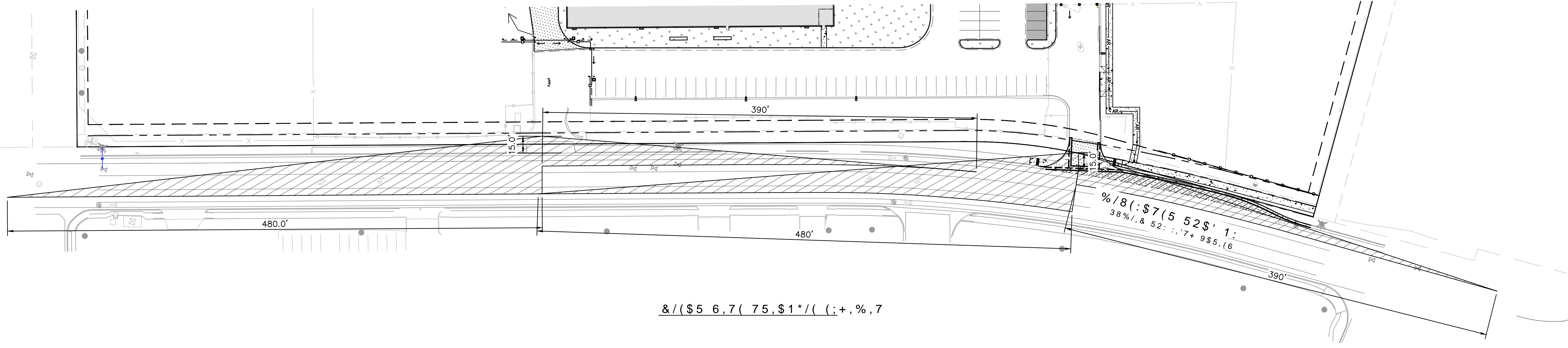
STANDARD DUTY ASPHALT SECTION
N.T.S.

NOTES:
1. PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM NINYO & MOORE, INC. "GEOTECHNICAL EVALUATION", PROJECT #607850001, DATED SEPTEMBER 28, 2023.



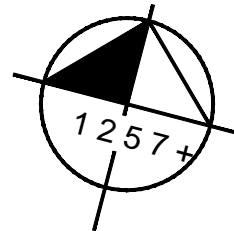
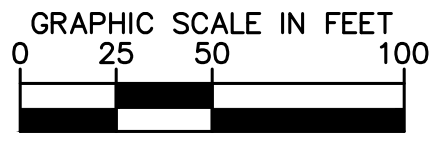
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- PROPERTY LINE
- ADJACENT SECTION LINE
- EX. UTILITY ESMT
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- EX. FIRE HYDRANT/VALVE
- EX. FLAGPOLE
- EX. SITE LIGHT
- EX. SIGN
- PROP. 6" VERTICAL CURB PER CITY DTL
- PROP. BUILDING (SEE ARCH PLANS)
- PROP. HEAVY DUTY ASPHALT (SEE SHEET C2.2)
- PROP. LIGHT DUTY ASPHALT (SEE SHEET C2.2)
- PROP. CONCRETE (SEE SHEET C2.2)
- PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
- ACCESSIBLE ROUTE
- PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- PROPOSED SIGN, TYPE PER KEYNOTES
- SITE TRIANGLE (SEE NOTE THIS SHEET)



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CLEAR SITE TRIANGLE NOTES:
1. SITE TRIANGLES ARE DESIGN PER THE FOLLOWING:
- BLUEWATER ROAD SPEED LIMIT: 40 MPH (PER ABQ MAP)
- STOP CONTROLLED RIGHT TURN SIGHT DISTANCE: 390'
- STOP CONTROLLED LEFT TURN SIGHT DISTANCE: 480'
2. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGN REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (MEASURED FROM GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.



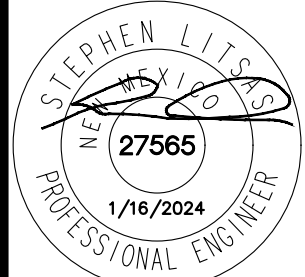
NO.	REVISION	BY	DATE	APPR

Kimley»Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 30/01/2024

TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

ABB ABQ ADDITION
% / 8 (: \$ 7 (5 5 2 \$ ' 1 :
6, 7 (3 / \$ 1 ') 7
6, 7 (7 5, \$ 1 * / (6 \$ 1 ' ' (7 \$, / 6 6 + ((7



PROJECT NO. 096523009

SHEET

C3.1



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION

PERMIT

PERMIT NUMBER: EP-23-016070

APPROVED DATE: 10/03/23

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.

FIRE FLOW: 4000 GPM @ 100 PSI

LEGEND

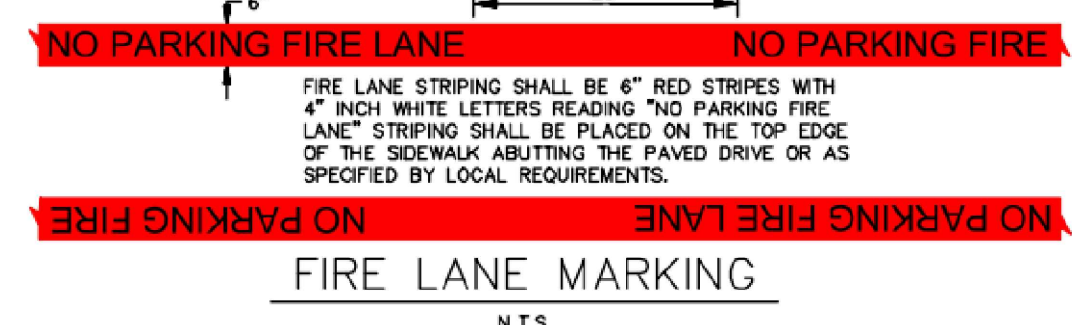
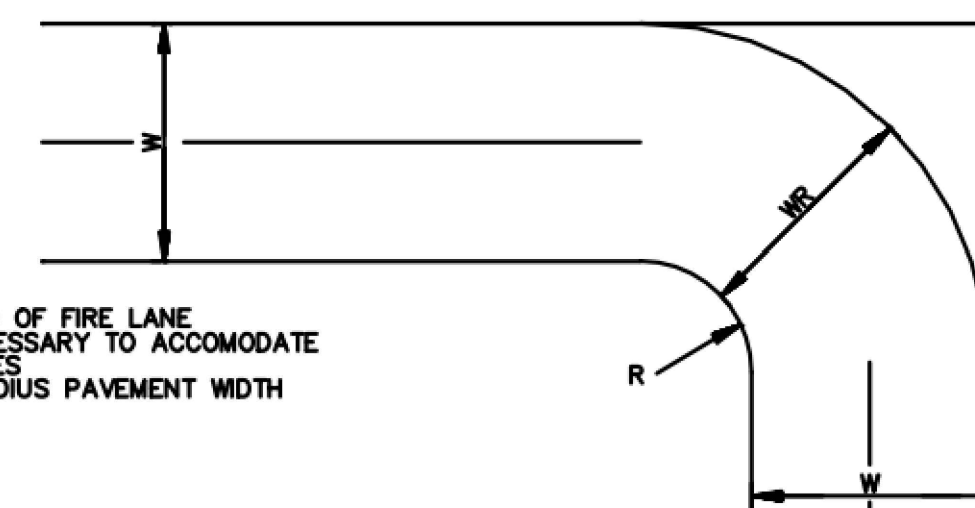
- EX. CHAIN LINK FENCE
- EX. FIRE HYDRANT/VALVE
- EX. WATER LINE
- EX. FIRE PROTECTION LINE
- PROP. BUILDING EXPANSION
- PROP. BUILDING SETBACK
- PROP. 6" VERTICAL CURB
- PROP. FIRE ACCESS ROAD
- PROP. FIRE HYDRANT
- PROP. FIRE LINE
- PROP. FIRE LANE MARKING

NOTES:

- ON-SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES OR AS DIRECTED BY THE FIRE MARSHAL. SEE FIRE LANE MARKING DETAIL THIS SHEET.
- FIRE APPARATUS ACCESS ROAD SHALL NOT EXCEED 10% IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 LBS.
- KNOX KEY SWITCH REQUIRED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
- ALL CURB ALONG FIRE LANES WILL BE 6" HEADER CURB UNLESS OTHERWISE NOTED ON THE PLAN.

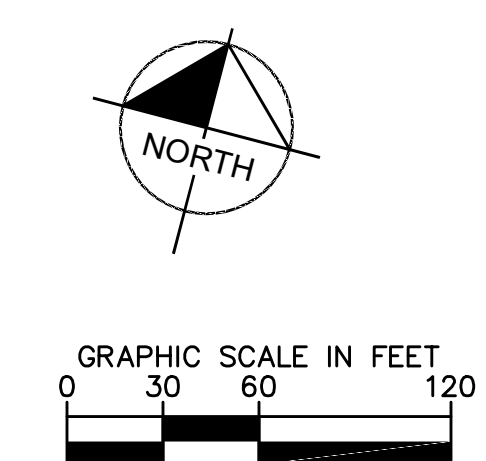
W	R	WR
20'	30'	30' MIN.
25'	20'	30' MIN.
30'	10'	30' MIN.

W = WIDTH (feet) OF FIRE LANE
R = RADIUS NECESSARY TO ACCOMMODATE FIRE VEHICLES
WR = TURNING RADIUS PAVEMENT WIDTH

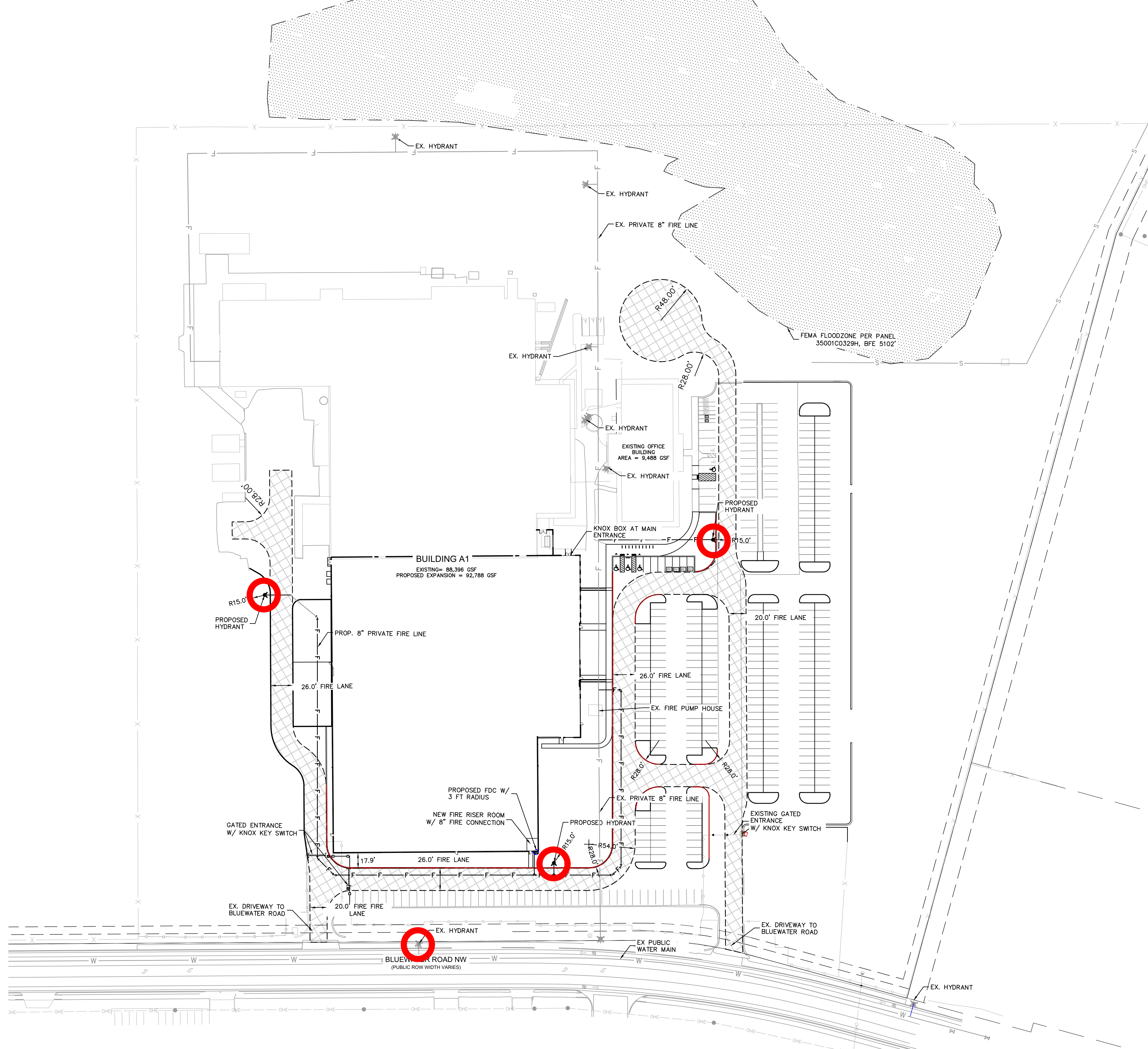


BUILDING A1 (EXISTING + EXPANSION WAREHOUSE)
TOTAL BUILDING FOOTPRINT: 92,788 (EXPANSION) + 88,396 SF (EXISTING) = 181,184 GSF
BUILDING HEIGHT: 32' (EXPANSION) & 27' (EXISTING)
OCCUPANCY TYPE: F-1 (FACTORY)
CONSTRUCTION TYPE: TYPE II-B, FULLY SPRINKLED
SPRINKLER SYSTEM: YES
FIRE SEPARATION: 4 HOUR RATING
FIRE-FLOW: 8,000 GPM

BUILDING A2 (EXISTING OFFICE)
TOTAL BUILDING FOOTPRINT: 9,488 GSF
BUILDING HEIGHT: 17'
OCCUPANCY TYPE: B (BUSINESS)
CONSTRUCTION TYPE: TYPE II-B, FULLY SPRINKLED
SPRINKLER SYSTEM: YES
FIRE SEPARATION: 2 HOUR RATING
FIRE-FLOW: 2,250 GPM



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NO.	REVISION	BY	DATE	APPRO

Kimley»Horn

©2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 02/10/2023

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

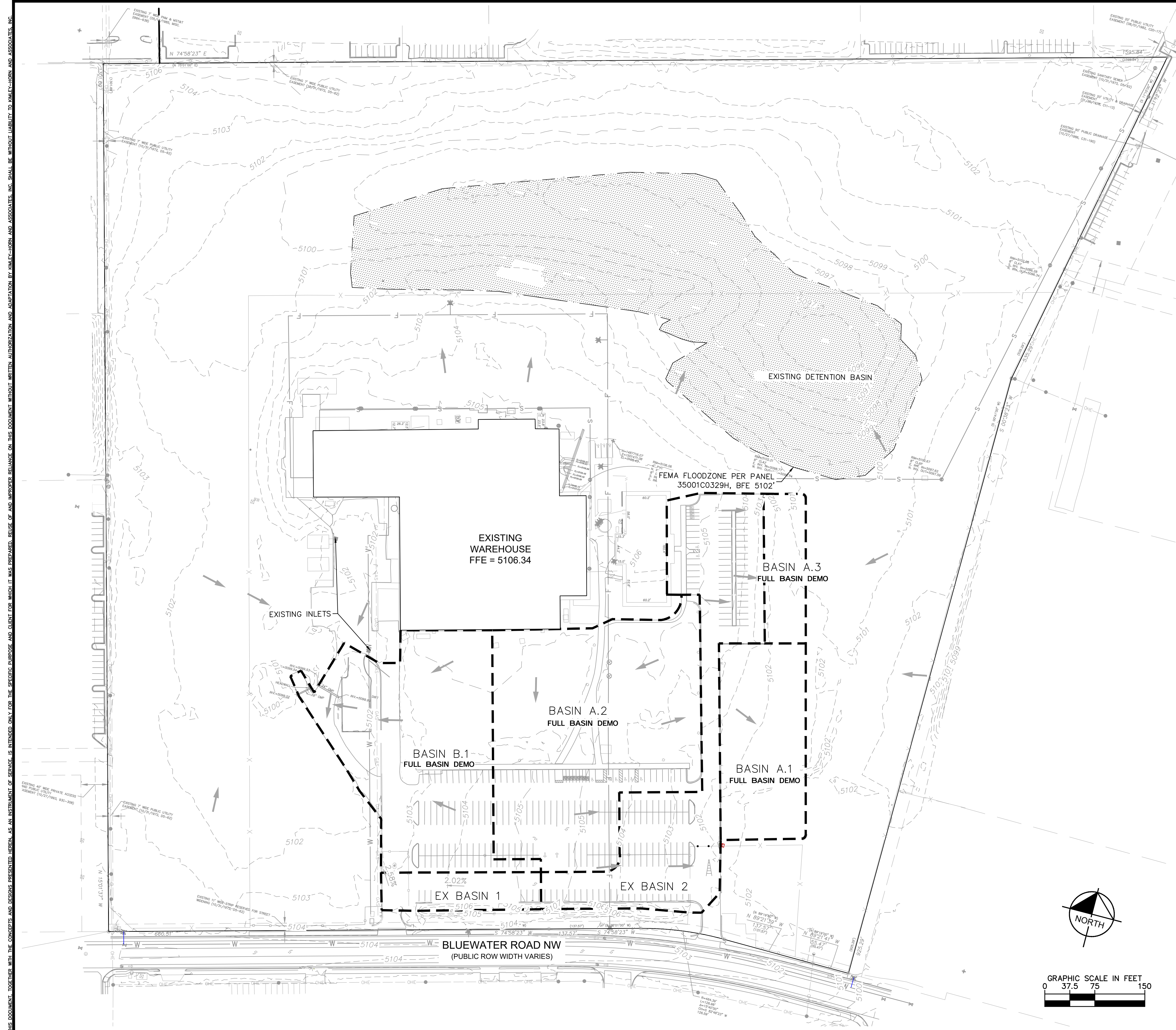
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
FIRE 1 PLAN

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION

Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

SHEET
F1



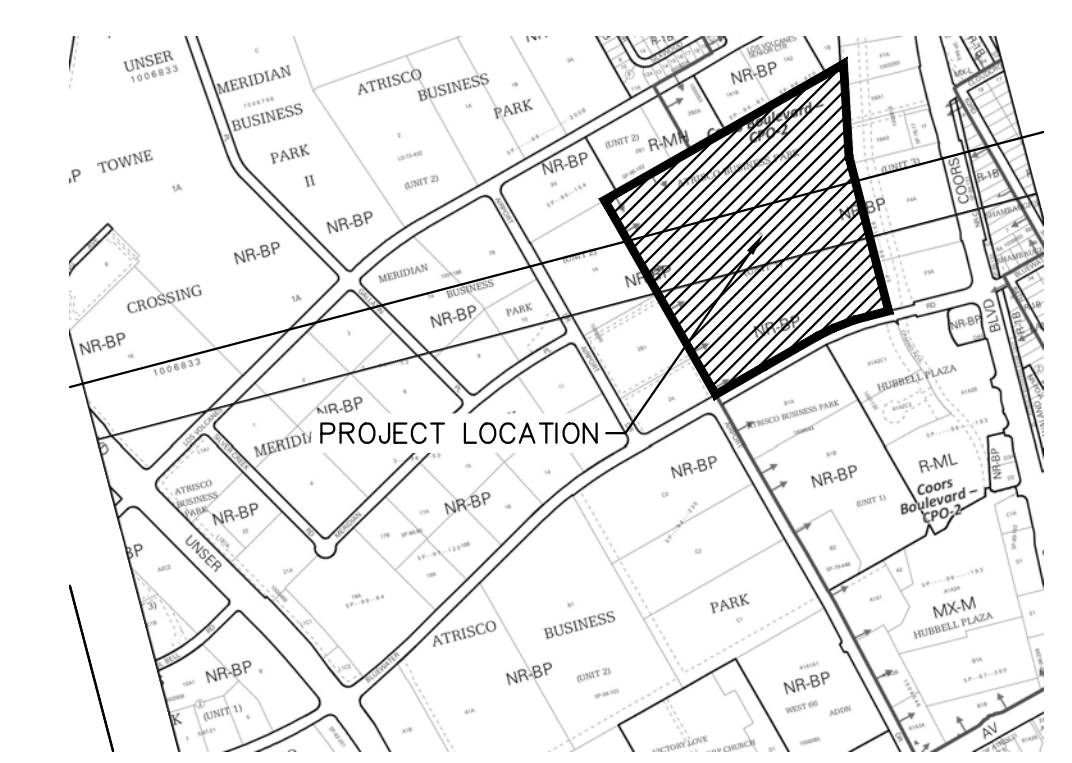
- LEGEND:**
- PROPERTY LINE
 - ADJACENT SECTION LINE
 - EX. UTILITY ESMT
 - EX. WROUGHT IRON FENCE
 - EX. CHAIN LINK FENCE
 - EX. FIRE HYDRANT/VALVE
 - EX. SANITARY SEWER MANHOLE/CLEANOUT
 - EX. SANITARY SEWER LINE
 - EX. FLAGPOLE
 - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - EX. SITE LIGHT
 - EX. SIGN

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/20/23
 BY: *Renee C. Bruneau*
 HydroTrans # K10D011

THESE PLANS AND/OR REPORT ARE CONCEPTUAL ONLY. MORE INFORMATION MAY BE NEEDED IN THEM AND SUBMITTED TO HYDROLOGY FOR BUILDING PERMIT APPROVAL.



FEMA FIRMETTE #35001C0329H



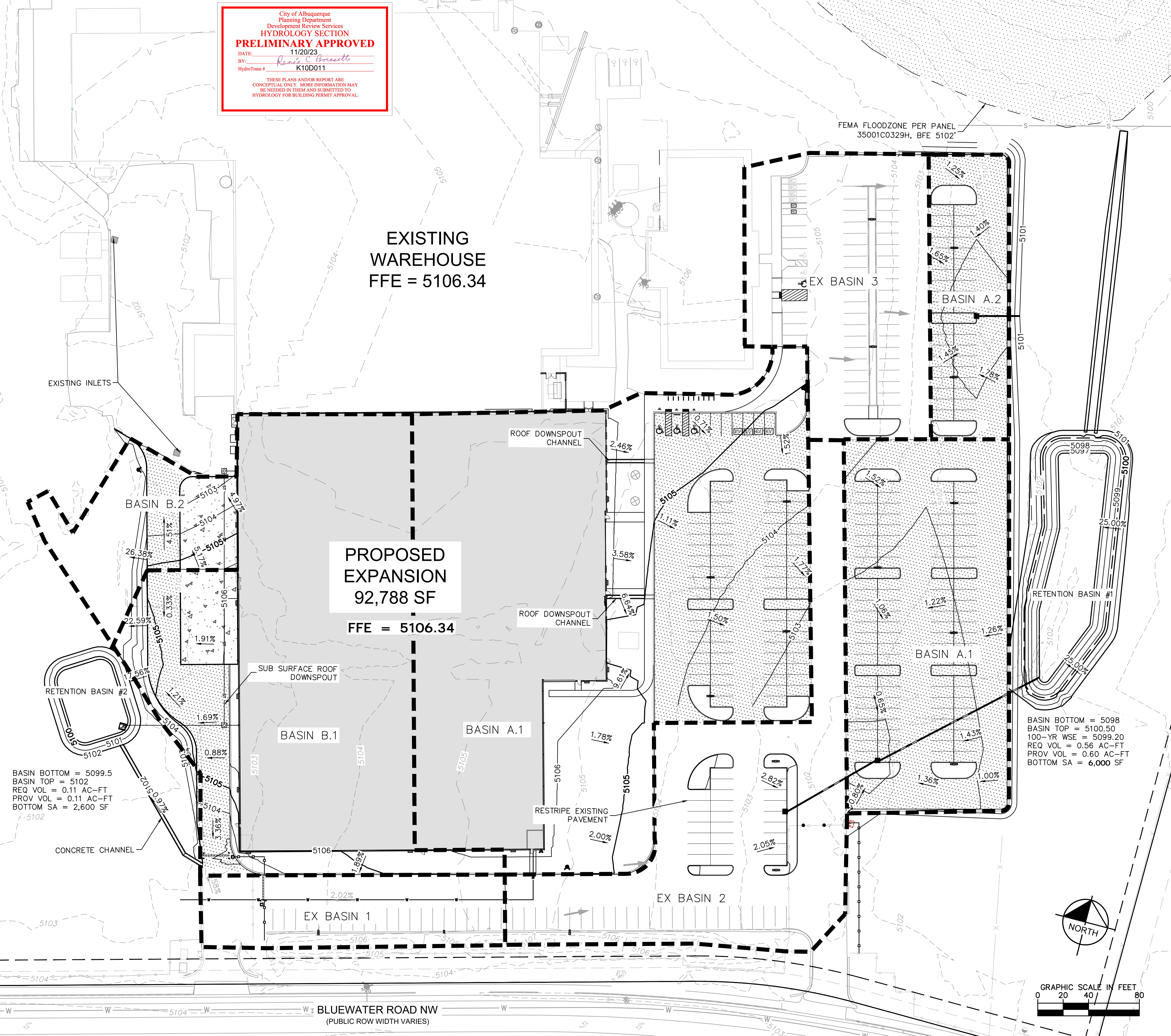
VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z

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<h1>Kimley»Horn</h1>	DESIGNED BY: MEJ	NO.	REVISION	BY	DATE
	DRAWN BY: MEJ				
CHECKED BY: SAL					
DATE: 11/06/2023					
LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES					
ABB ABQ ADDITION 6625 BLUEWATER ROAD NW SITE PLAN - DFT					
CONCEPTUAL EXISTING DRAINAGE EXHIBIT					
PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION					
Kimley»Horn Kimley-Horn and Associates, Inc.					
PROJECT NO. 096523009					
SHEET					
D1					

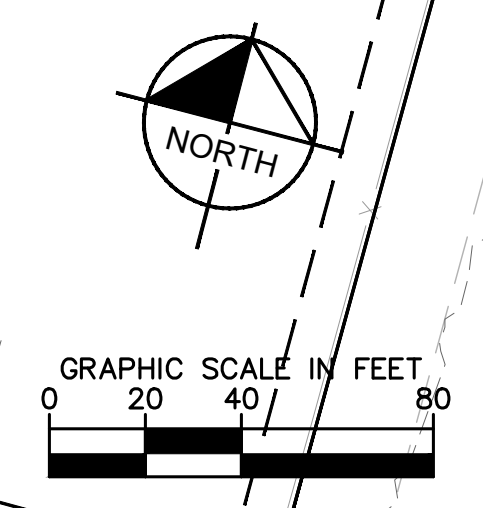
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City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
 DATE: 11/20/23
 BY: *[Signature]*
 HydroTrans # K10D011
 THESE PLANS AND/OR REPORT ARE
 CONCEPTUAL ONLY. MORE INFORMATION MAY
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 HYDROLOGY FOR BUILDING PERMIT APPROVAL.



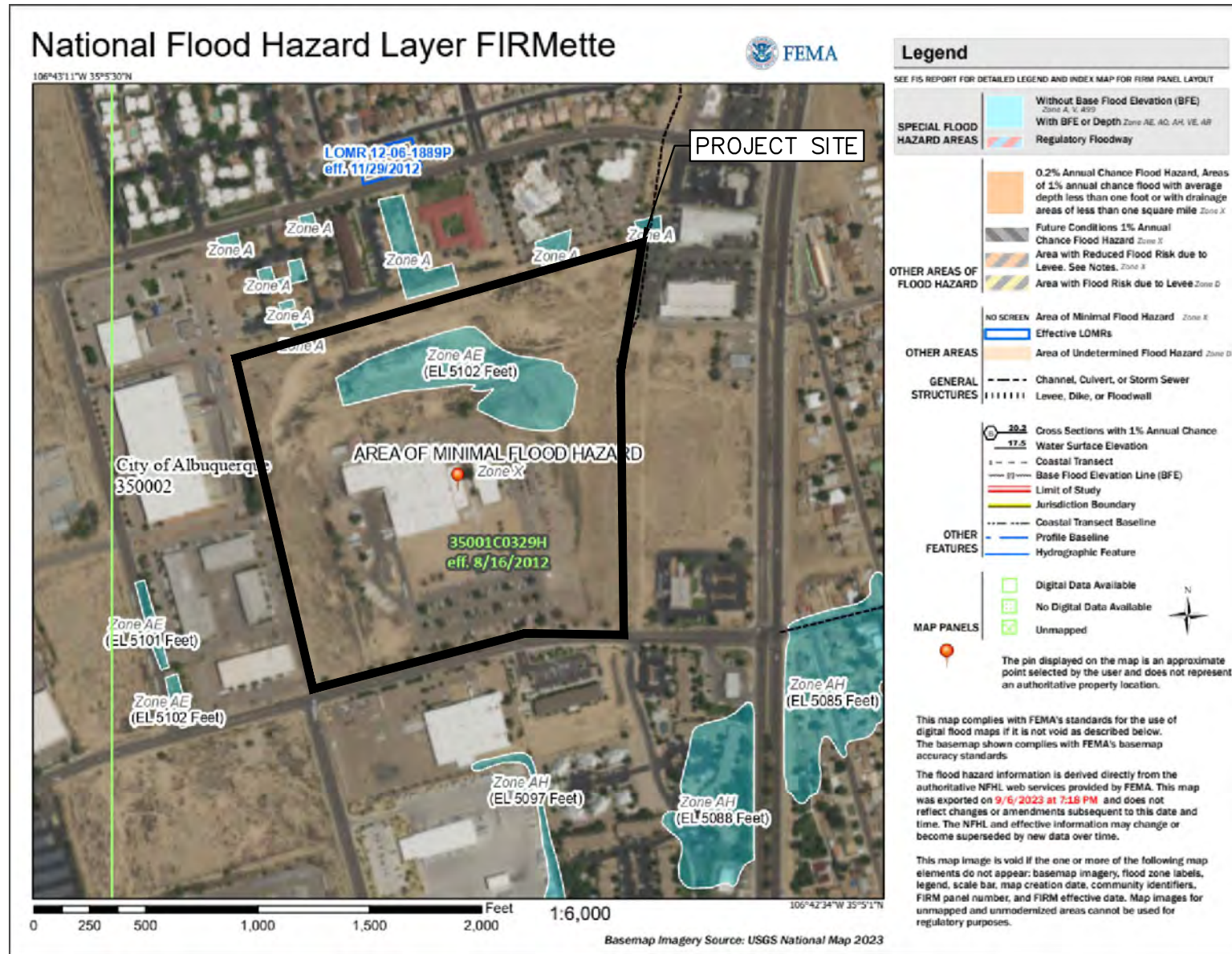
- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT SECTION LINE
 - - - EX. UTILITY ESMT
 - - - EX. WROUGHT IRON FENCE
 - - - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
 - - - EX. SANITARY SEWER LINE
 - ⊗ EX. FLAGPOLE
 - - - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - ⊙ EX. SITE LIGHT
 - ⊙ EX. SIGN
 - ▬ PROP. 6" VERTICAL CURB
 - ▬ PROP. BUILDING
 - ▬ PROP. PAVEMENT
 - ▬ PROP. FIRE LANE
 - ▬ PROP. CONTOUR
 - - - EX. CONTOUR
 - PROP. SLOPE ARROW
 - - - PROP. BUILDING SETBACK
 - EX. SLOPE ARROW

- GRADING LEGEND:**
- FLOWLINE = FL
 - BOTTOM OF CURB = BOC
 - FINISHED GRADE = FG
 - EXISTING GRADE = EG
 - FINISHED FLOOR ELEVATION = FFE
 - EDGE OF PAVEMENT = EOP
 - HIGH POINT = HP
 - LOW POINT = LP
 - SIDEWALK = SW
 - CENTERLINE = CL

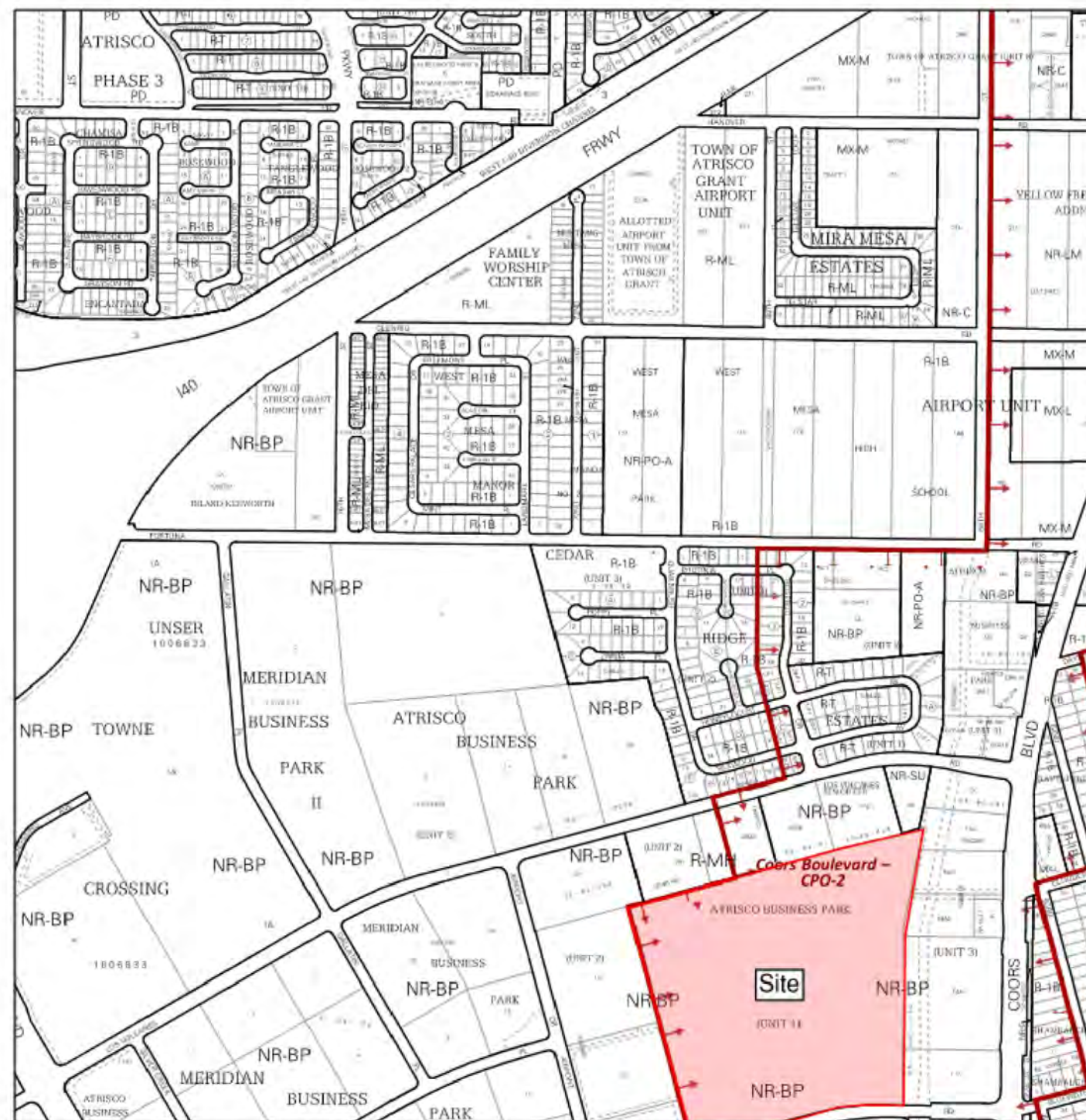


<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 500 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">APPR</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR					
NO.	REVISION	BY	DATE	APPR							
<p>LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>											
<p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW SITE PLAN - DFT CONCEPTUAL GRADING & DRAINAGE PLAN</p>											
<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p style="font-size: 8px;">Kimley»Horn Kimley-Horn and Associates, Inc.</p>											
<p>PROJECT NO. 096523009</p>											
<p>SHEET D2</p>											

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FLOOD ZONE MAP
FIRM PANEL: 35001C0329H



ZONING MAP
J-10-Z

DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORS BLVD

EXISTING CONDITIONS

THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHICH SERVES AS A RETENTION BASIN. SURFACE RUNOFF FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE OF IMPERVIOUS AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.

HYDROLOGY CALCULATIONS

BASIN #1	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	1.49	1.18	0.88	1.18	2.03	0.48	10.26
Proposed Conditions	0	0.5	0	3.05	3.05	1.18	1.04	13.65
DELTA							0.56	3.39

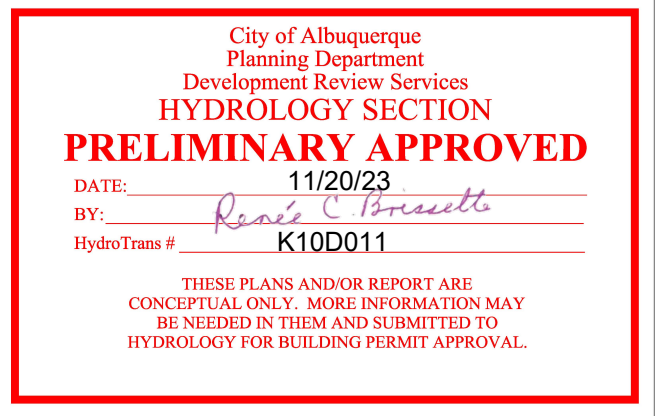
BASIN #2	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	0.73	0	1.00	1.73	1.96	0.38	5.85
Proposed Conditions	0	0.32	0	1.41	1.73	1.60	0.49	6.50
DELTA							0.11	0.65

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cf	Percolation Rate* inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#1	24,394	0.83	6,000	59	Meets Required Drain Time

Pond Volume **0.56** ac-ft

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cf	Percolation Rate* inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#2	4,792	0.83	2,600	27	Meets Required Drain Time

Pond Volume **0.11** ac-ft



Kimley»Horn
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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 11/06/2023

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
HYDROLOGY DATA

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

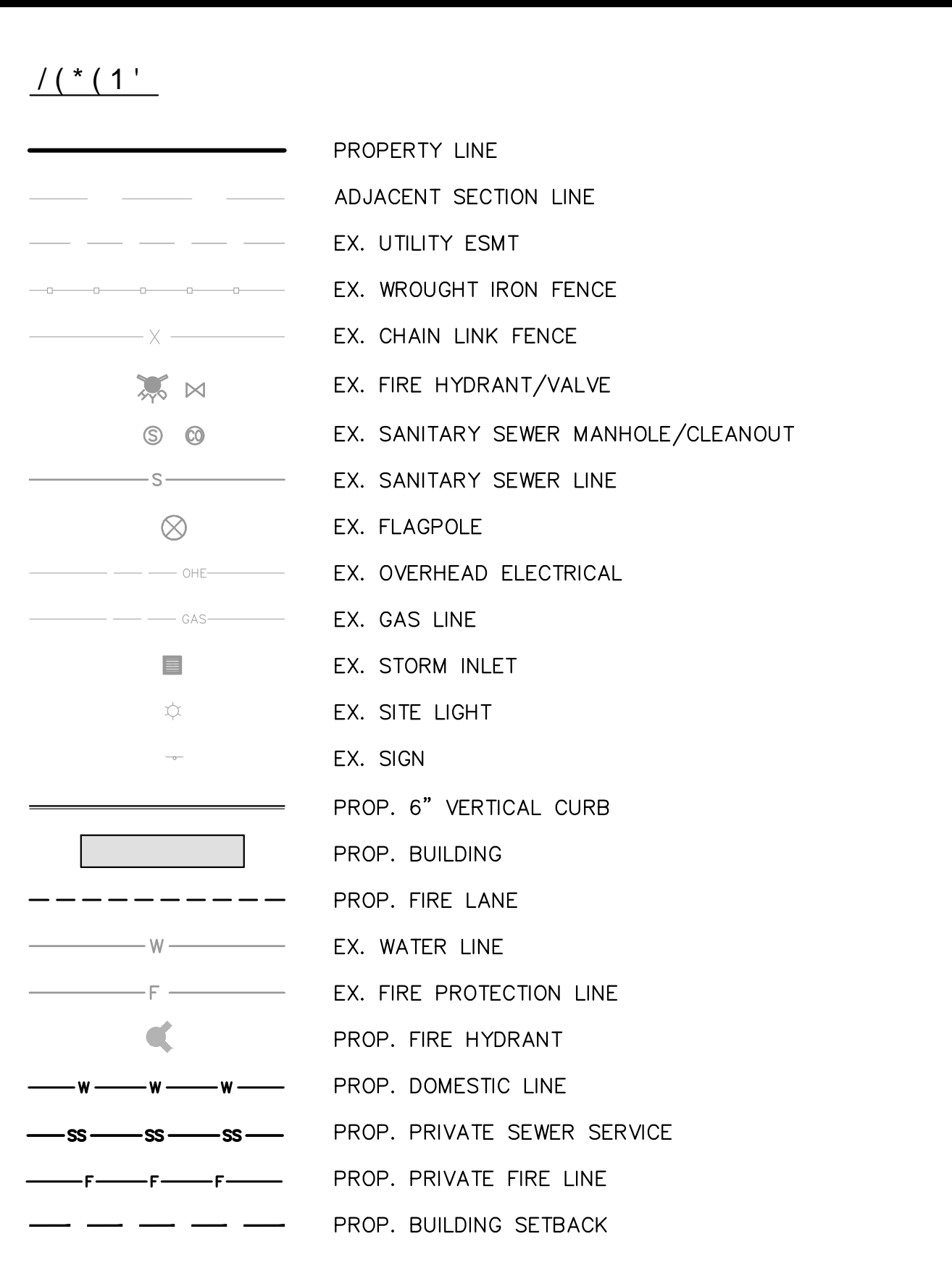
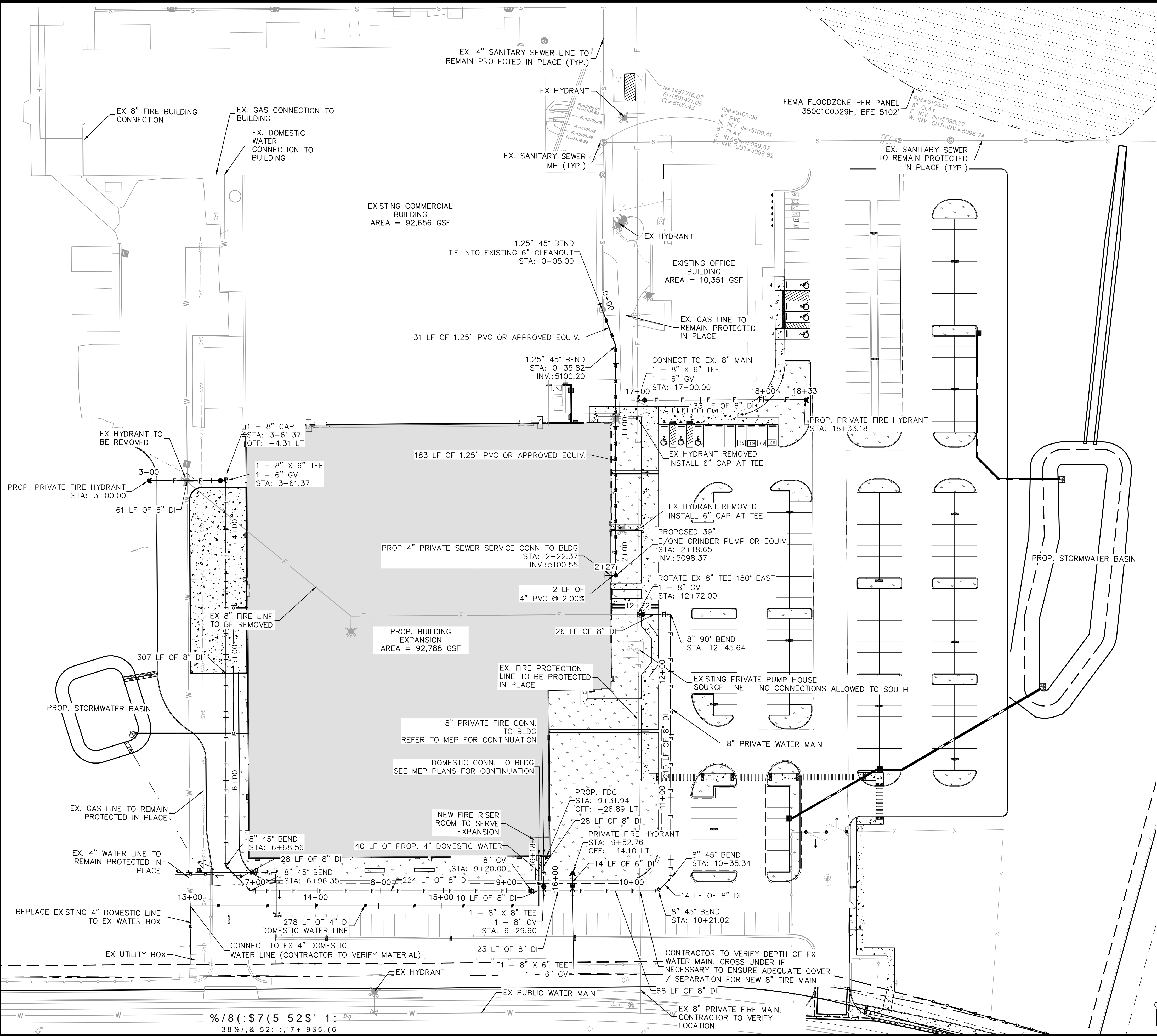
PROJECT NO.
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SHEET

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NO.	REVISION	BY	DATE	APPR

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- 87, /, 7 < * (1 5 \$ / 1 2 7 (6
1. ALL EXISTING UNDERGROUND UTILITIES TO REMAIN PROTECTED IN PLACE DURING CONSTRUCTION.
 2. SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDINGS.
 3. REFER TO CITY STANDARD AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
 4. CONTRACTORS TO NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINES.
 5. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PRIVATE = PVC SDR 35 PER ASTM D 304
 6. WATER LINES SHALL BE AS FOLLOWS:
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) PER ASTM D 2241 WITH POLYWRAPPED CAST IRON OR DUCTILE IRON PER AWA C-150
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT COPPER, ASTM B88 OR PVC DR-18 (C-900) PER ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POLYFLEX - CTS PE4710)
 7. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY WITH REGARDS TO MATERIALS AND INSTALLATION OF UTILITIES WITH TCEQ GUIDELINES FOR UTILITY CROSSINGS.

GRAPHIC SCALE IN FEET
0 20 40 80

1257

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STEPHEN L. LIPSON
27565
1/16/2024
PROFESSIONAL ENGINEER

PROJECT NO.
096523009

SHEET
C4.0

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 30/01/2024

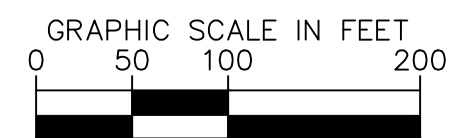
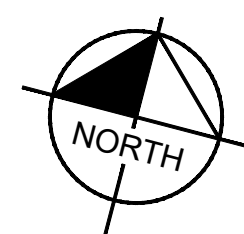
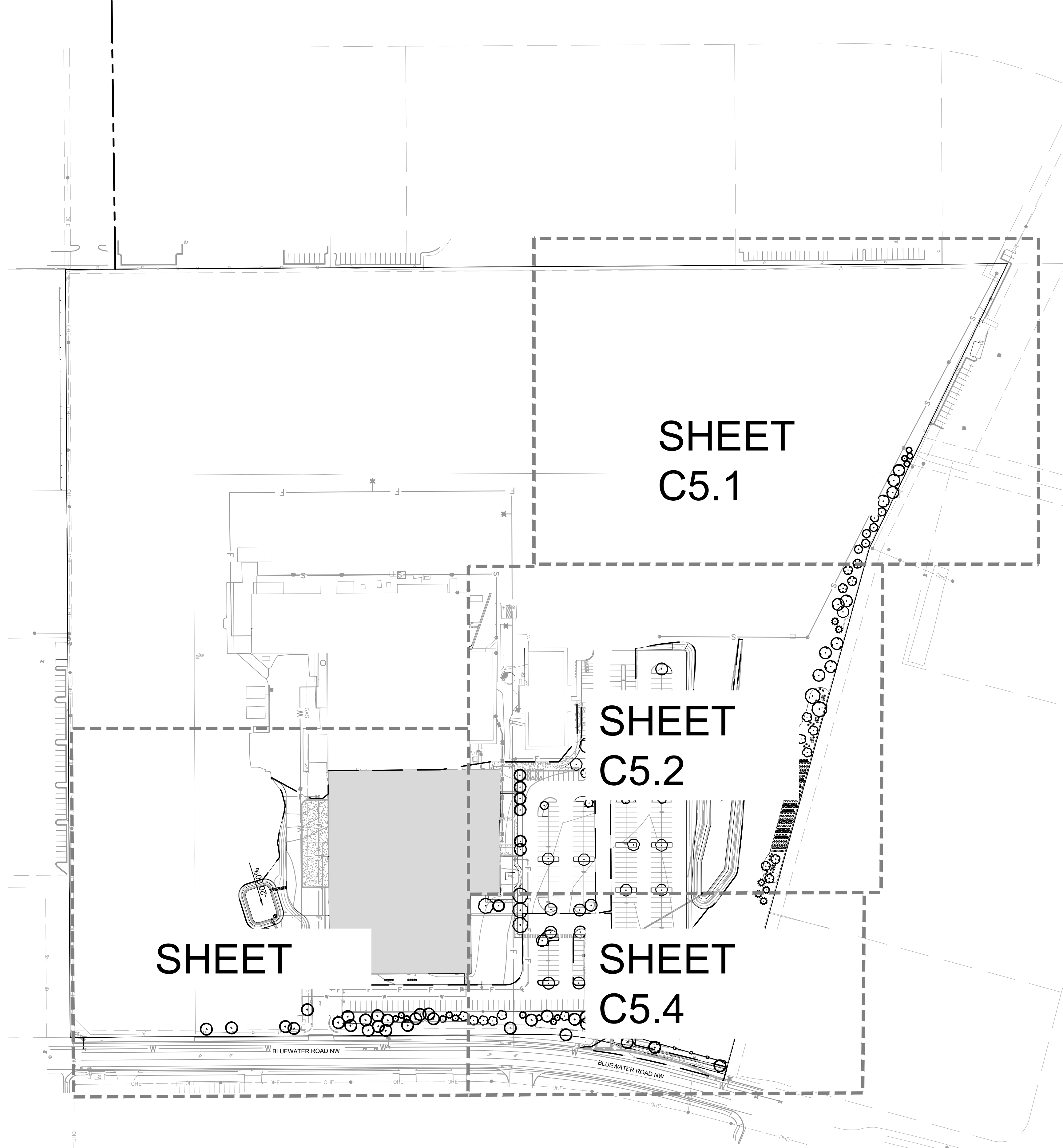
TRACT A TRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
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NO. REVISION BY DATE

Kimley»Horn
2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 500
Greenwood Village, Colorado 80111 (303) 228-2300

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CONSTRUCTION BID NOTES:

- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
- ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.

LANDSCAPE NOTES:

- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
- NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
- THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
- VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
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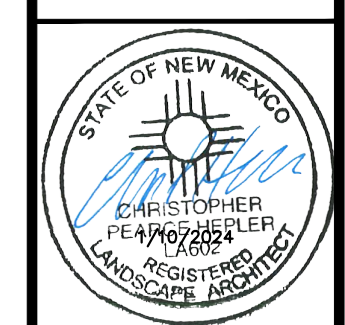
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DESIGNED BY: ECS
 DRAWN BY: ECS
 CHECKED BY: EIWS
 DATE: 1/15/2024

LEGAL DESCRIPTION:
 TRACT A, ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

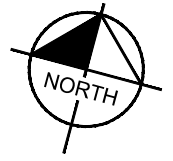
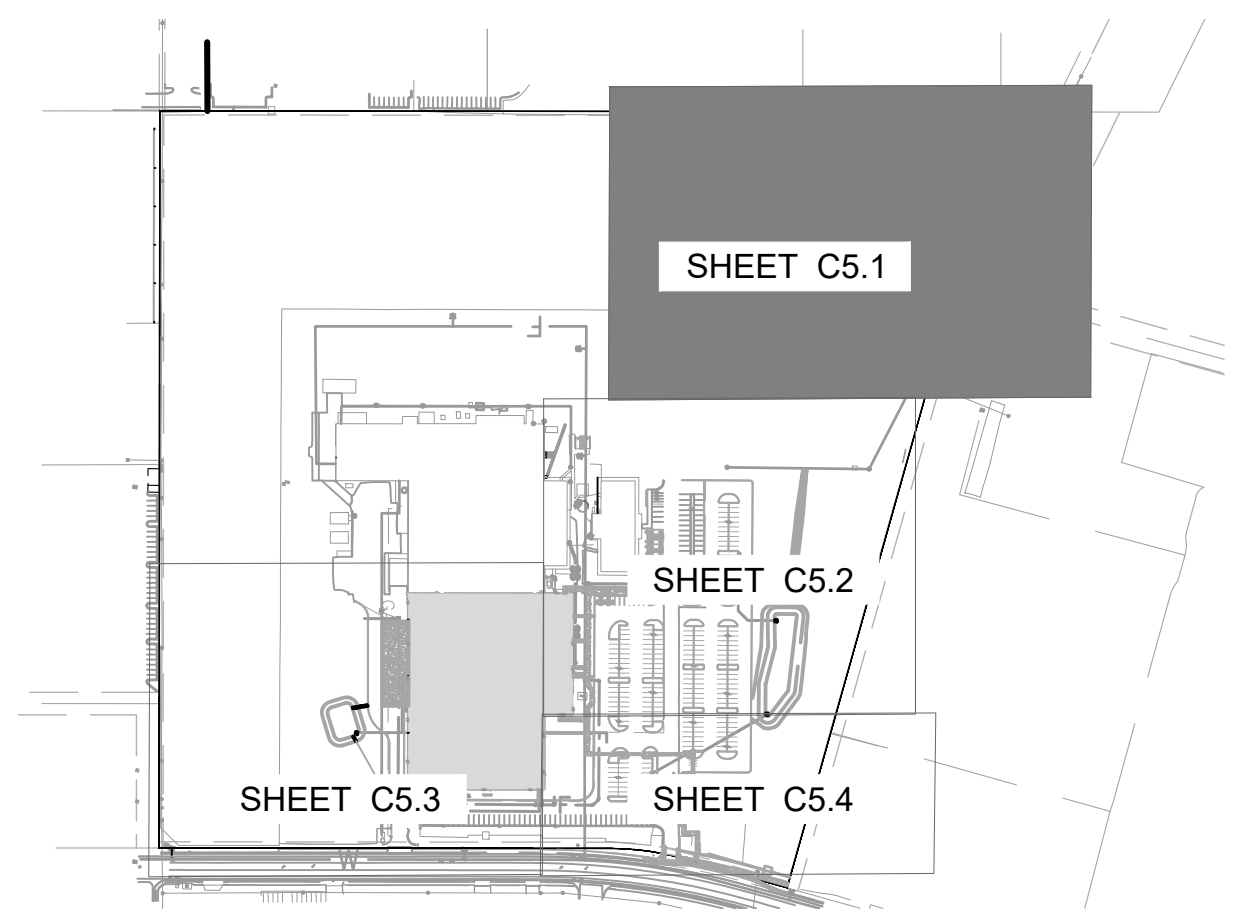
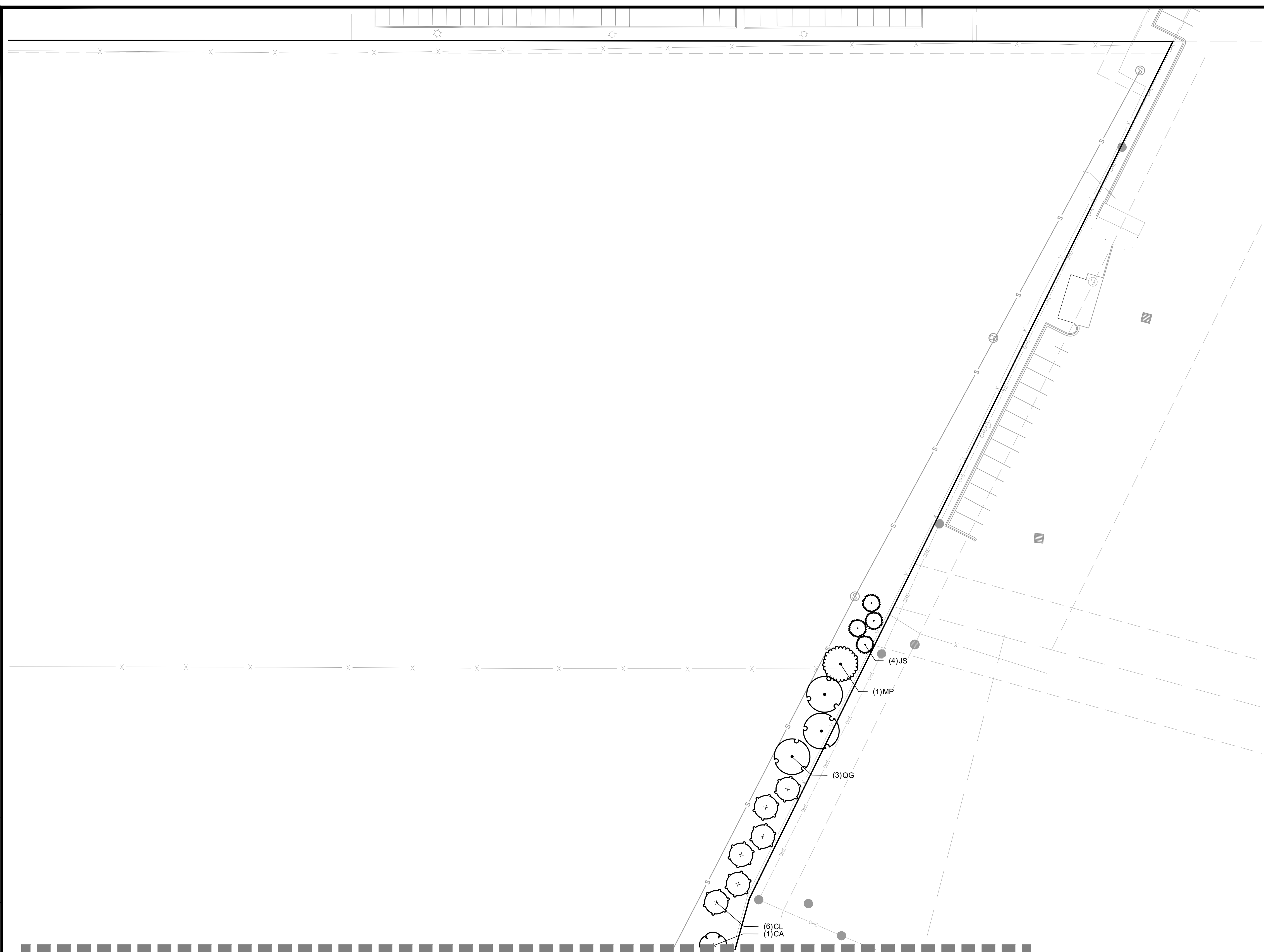
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 OVERALL LANDSCAPE PLAN



PROJECT NO.
 096523009

SHEET
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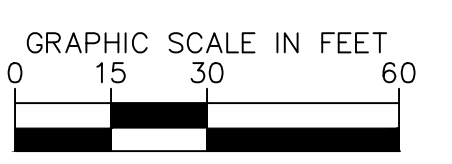
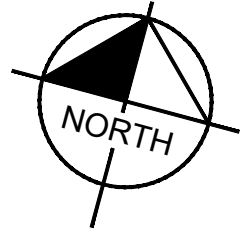


KEY MAP
N.T.S

SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME
GROUND COVERS							
	RM	54,346 SF	9,350 SF	34,954 SF	10,042 SF	1-1/2" - 2" ROCK MULCH	TO MATCH EXISTING
	XL2	8,281 SF		8,281 SF		1-4" AGGREGATE MULCH ROCK	1-4" ANGULAR AGGREGATE MULCH
	XT	4,093 SF		4,093 SF		2-4" AGGREGATE MULCH ROCK	2-4" ANGULAR AGGREGATE MULCH
	XL	24,594 SF		24,594 SF		APPLEWOOD NATIVE SEED MIX	NATIVE SEED MIX
	XA	8,060 SF		8,060 SF		APPLEWOOD SEED MIX	DETENTION SEED MIX

SEE SHEET C5.7 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE

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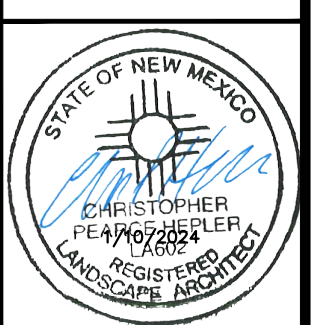
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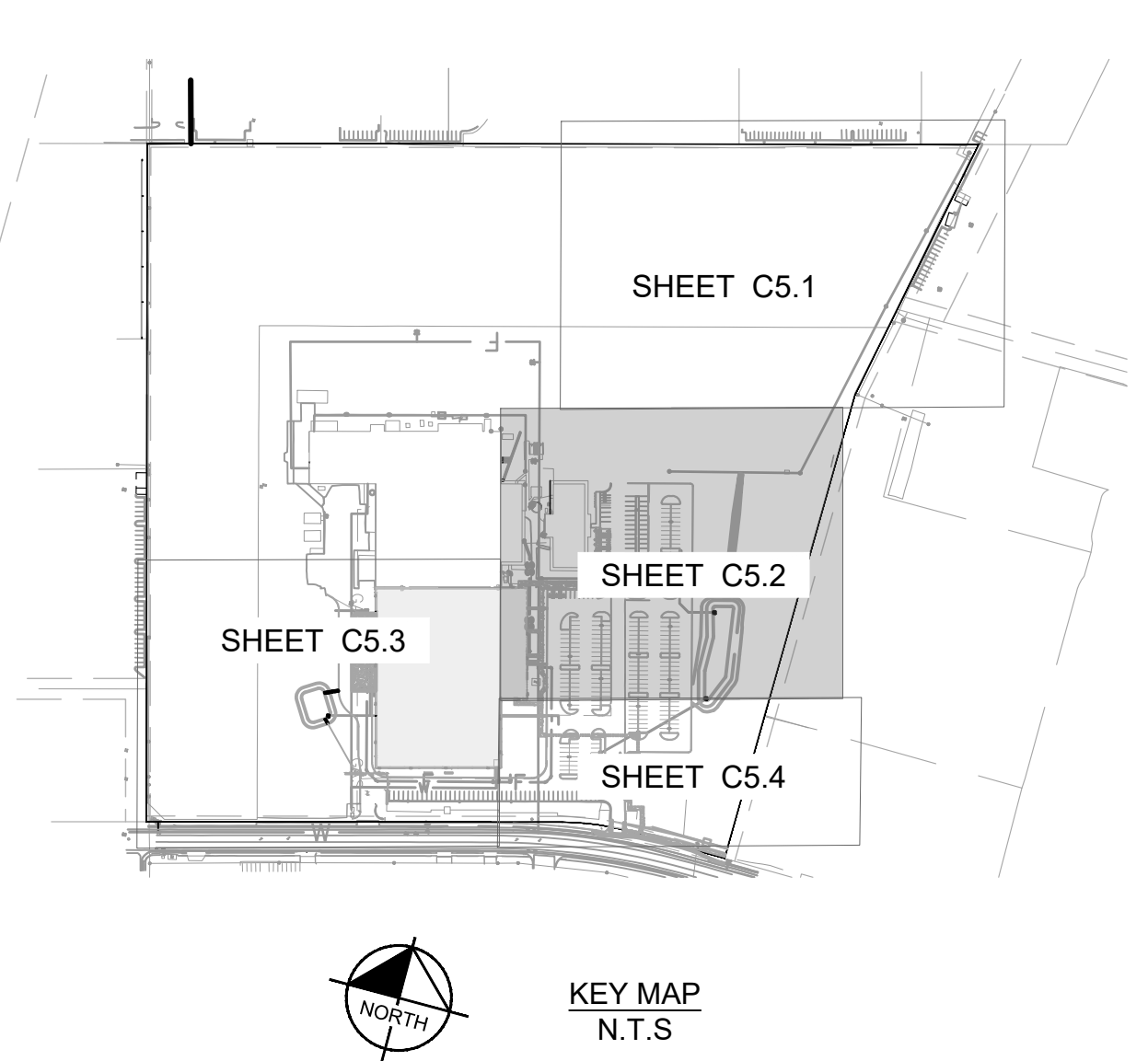
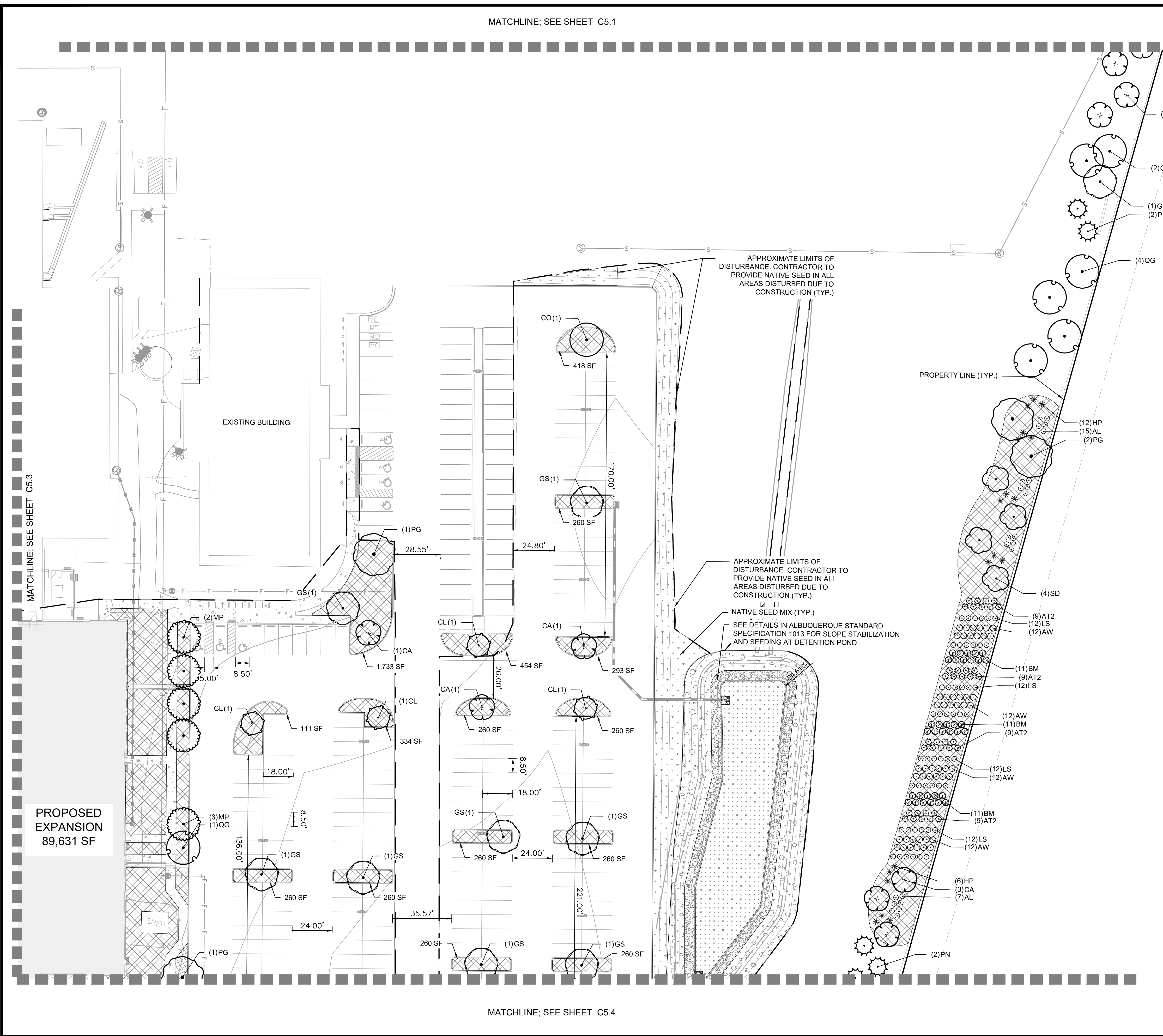
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 DETAILED LANDSCAPE PLAN



PROJECT NO.
096523009

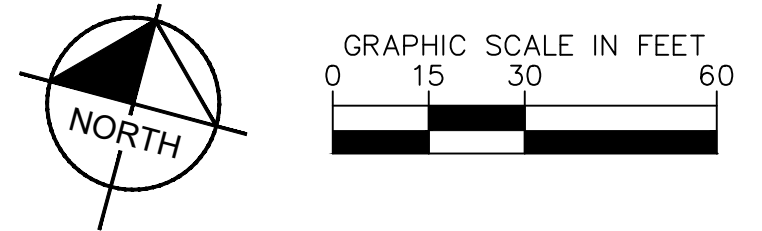
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SYMBOL	CODE	QTY	BOTANICAL NAME
GROUND COVERS			
[Symbol]	RM	54,346 SF	1-1/2" - 2" ROCK MULCH
[Symbol]	XL2	8,281 SF	1-4" AGGREGATE MULCH ROCK
[Symbol]	XT	4,093 SF	2-4" AGGREGATE MULCH ROCK
[Symbol]	XL	24,594 SF	APPLEWOOD NATIVE SEED MIX
[Symbol]	XA	8,060 SF	APPLEWOOD SEED MIX

SEE SHEET C5.7 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE



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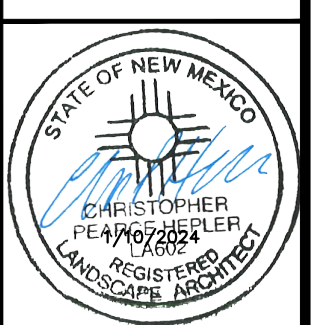
NO.	REVISION	BY	DATE	APPR.

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Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 1/15/2024

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

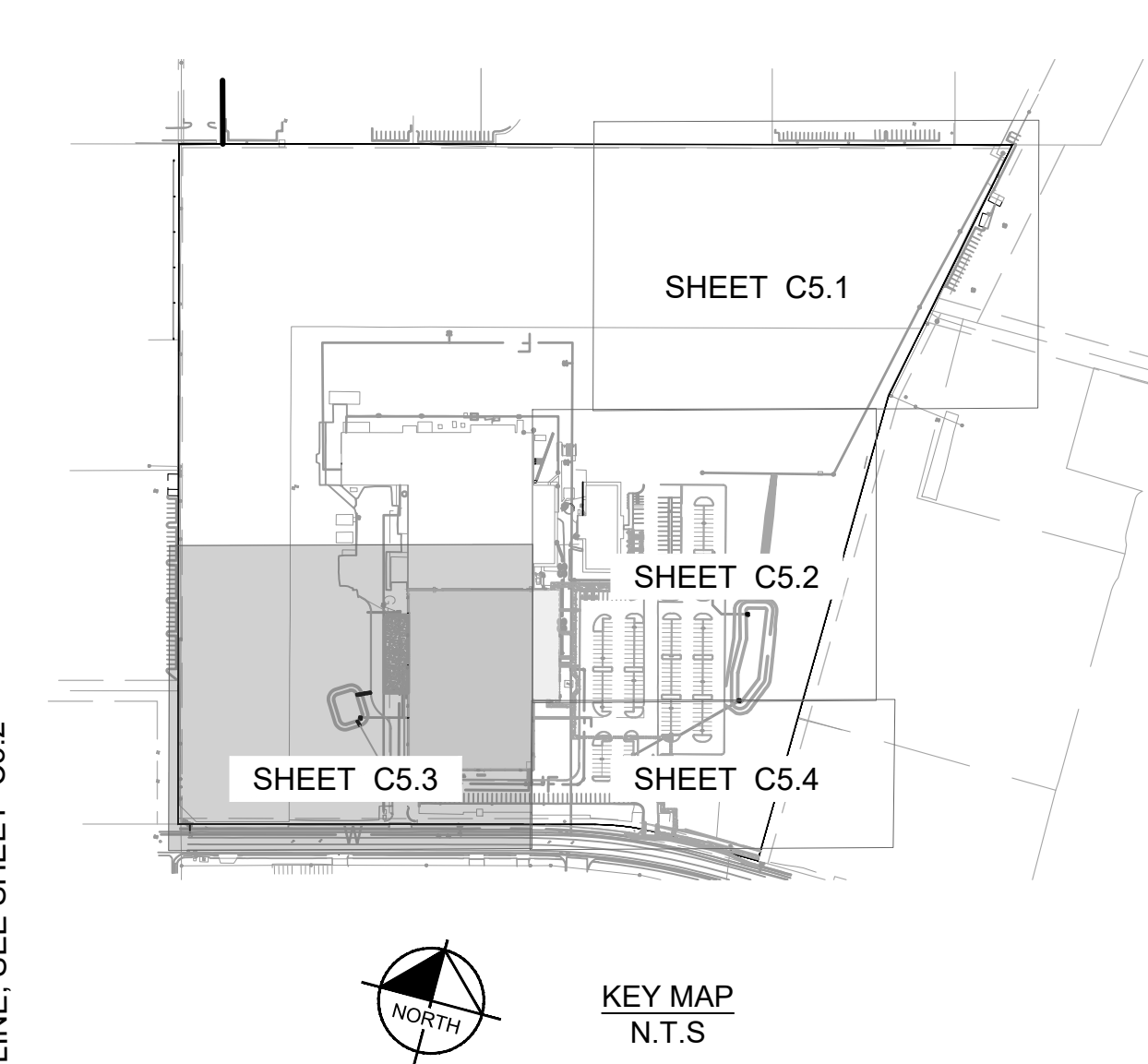
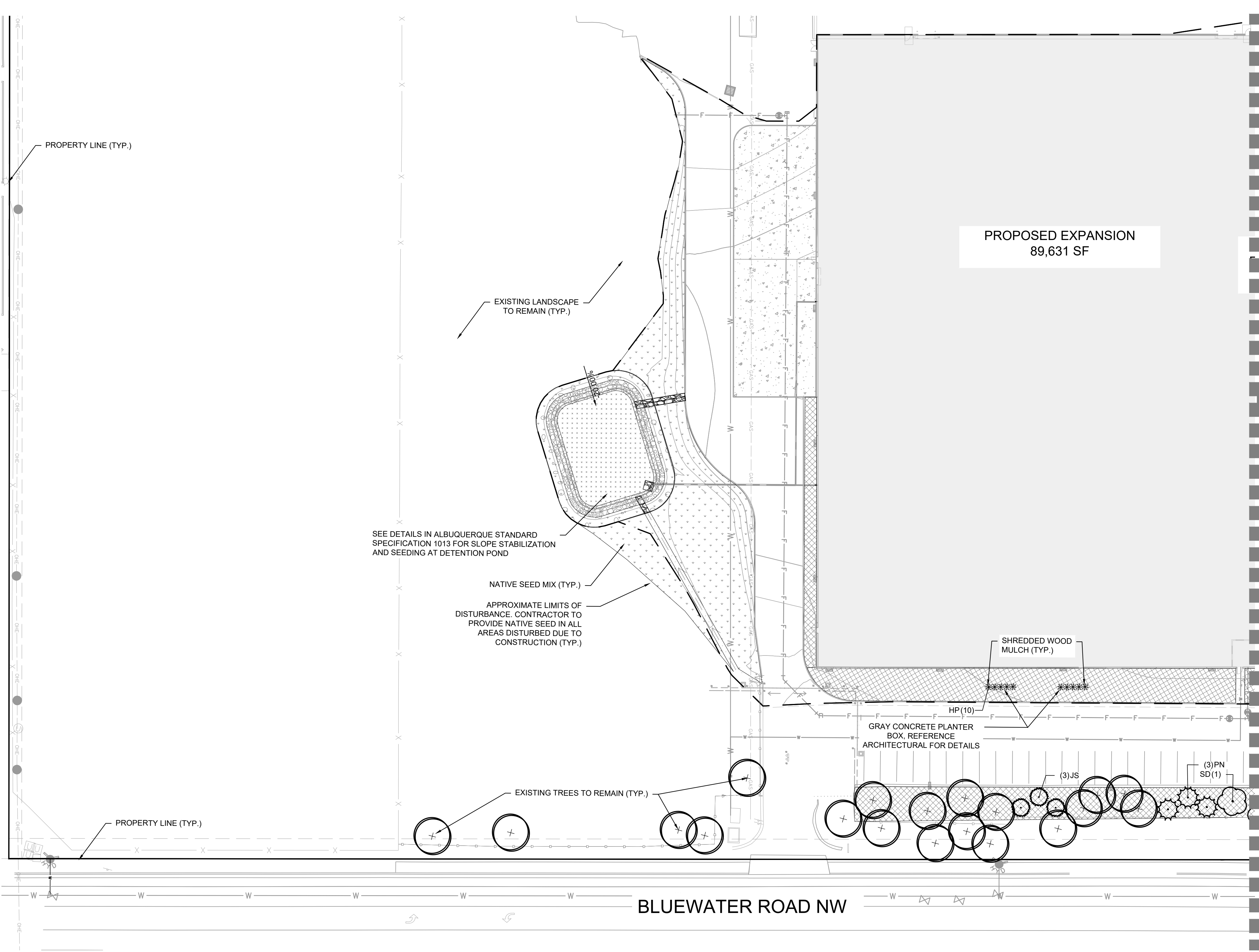
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
DETAILED LANDSCAPE PLAN



PROJECT NO.
096523009

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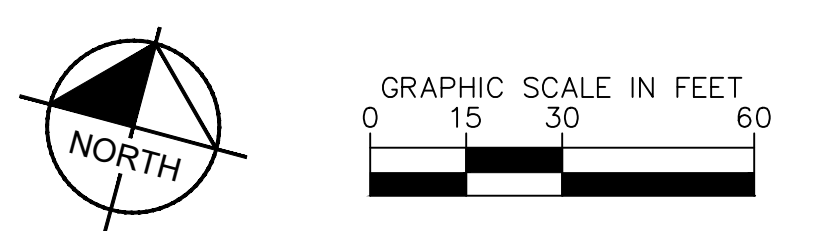


MATCHLINE: SEE SHEET C5.2

MATCHLINE: SEE SHEET C5.4

SYMBOL	CODE	QTY	BOTANICAL NAME
GROUND COVERS			
	RM	54,346 SF	1-1/2" - 2" ROCK MULCH
	XL2	8,281 SF	1-4" AGGREGATE MULCH ROCK
	XT	4,093 SF	2-4" AGGREGATE MULCH ROCK
	XL	24,594 SF	APPLEWOOD NATIVE SEED MIX
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SEE SHEET C5.7 - LANDSCAPE DETAILS FOR COMPLETE PLANT SCHEDULE



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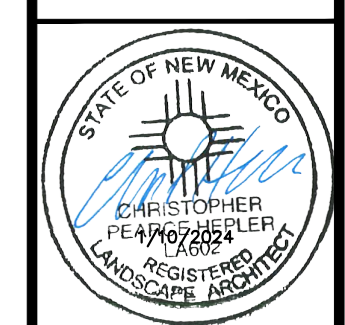
NO.	REVISION	BY	DATE	APPR.

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 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
 DRAWN BY: ECS
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 DATE: 1/15/2024

LEGAL DESCRIPTION:
 TRACT A, ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

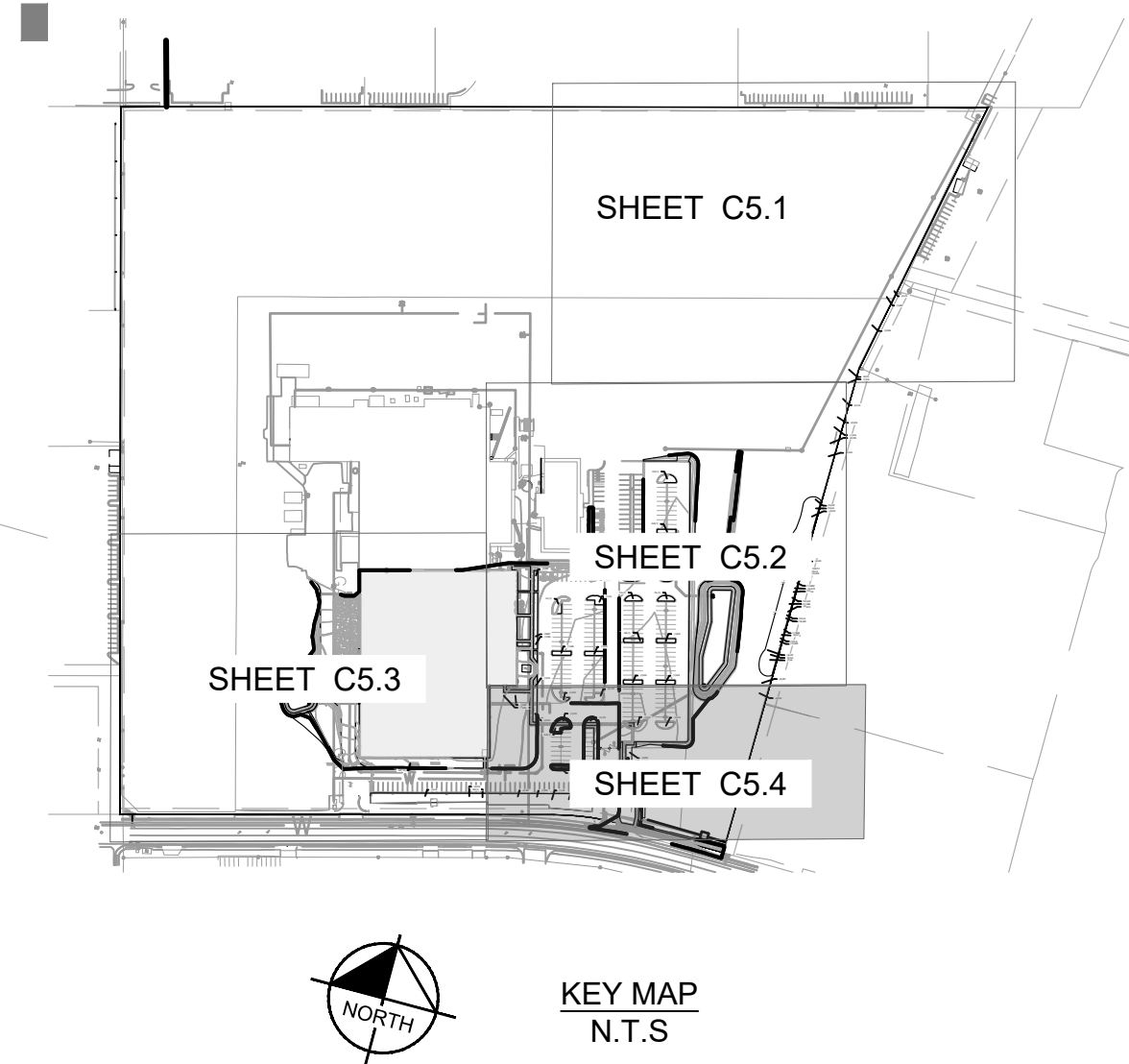
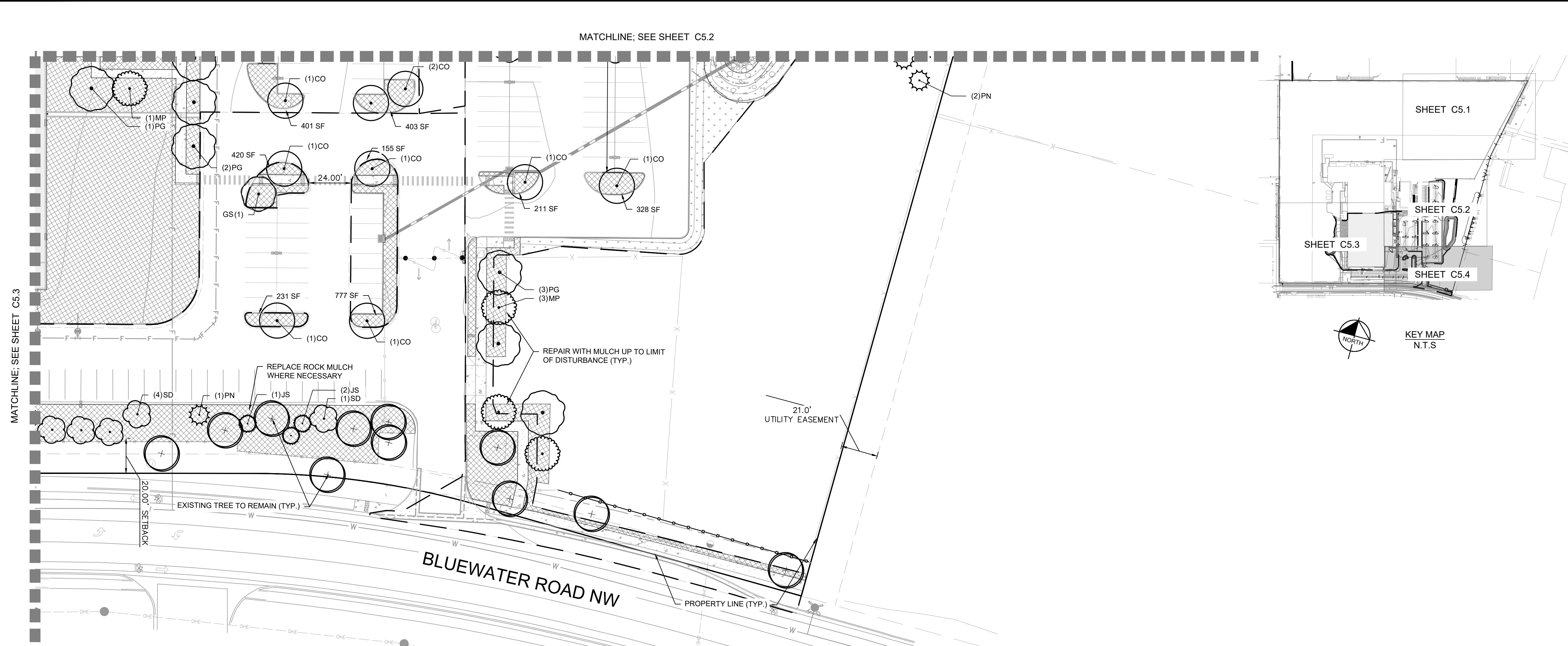
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 DETAILED LANDSCAPE PLAN



PROJECT NO.
 096523009

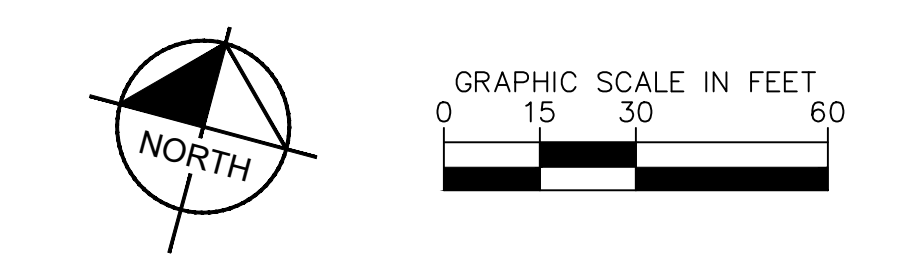
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 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.
- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
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 6200 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
 DRAWN BY: ECS
 CHECKED BY: EAWS
 DATE: 1/15/2024

LEGAL DESCRIPTION:
 TRACT A, ATRISCO BUSINESS
 PARK, UNIT 1, CONTAINING
 39.775 ACRES

ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 DETAILED LANDSCAPE PLAN

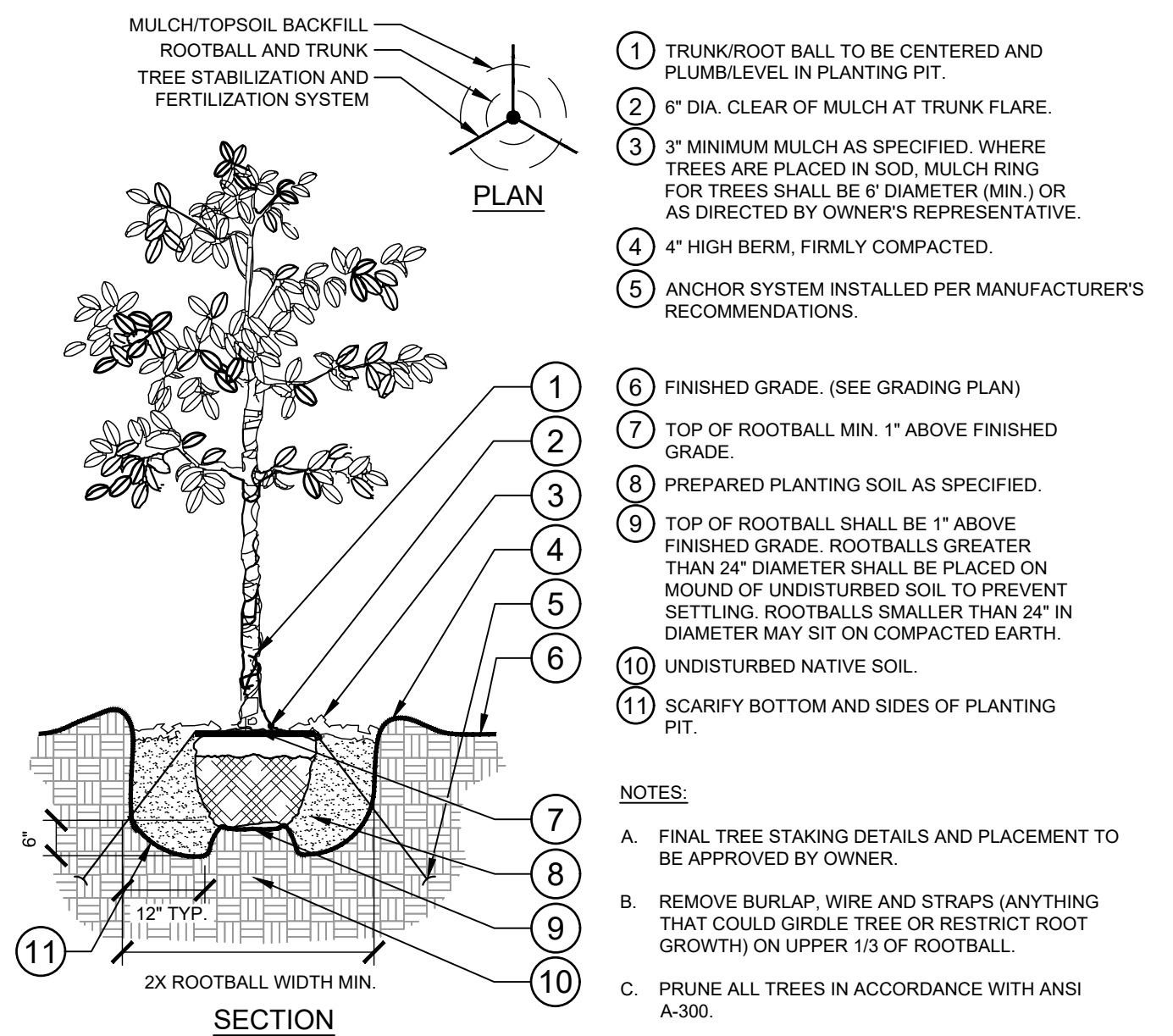


PROJECT NO.
 096523009

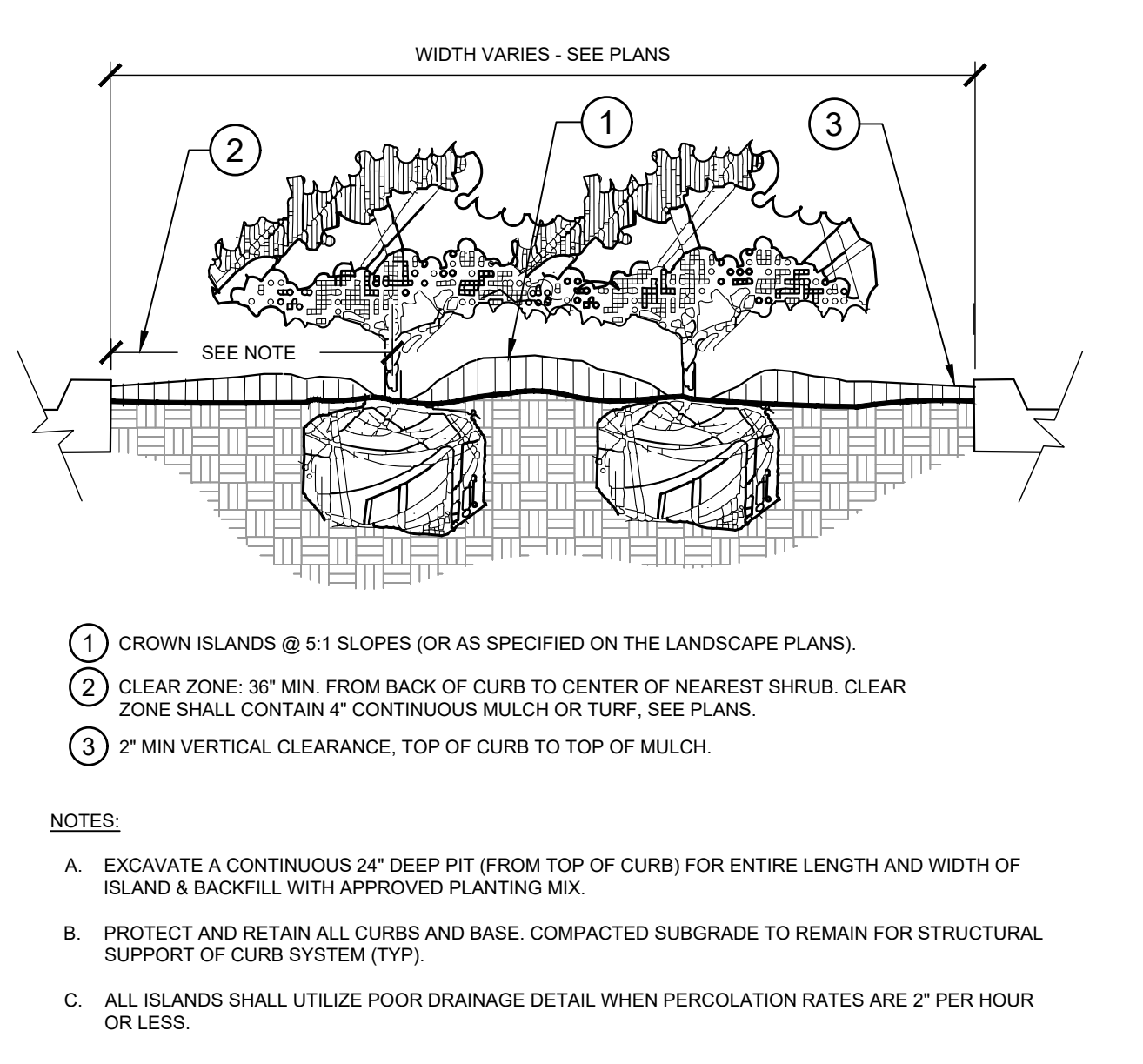
SHEET

C5.4

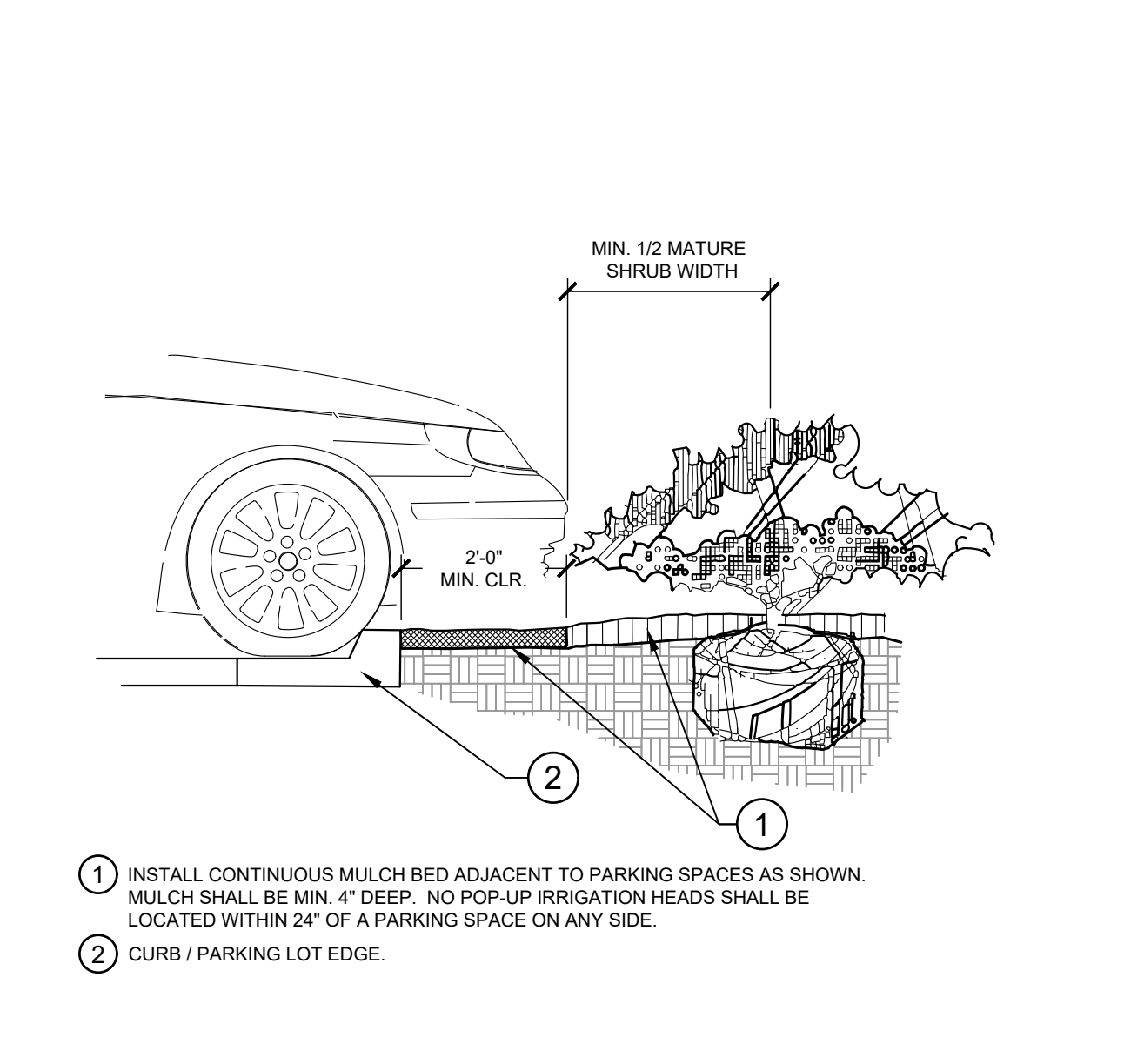
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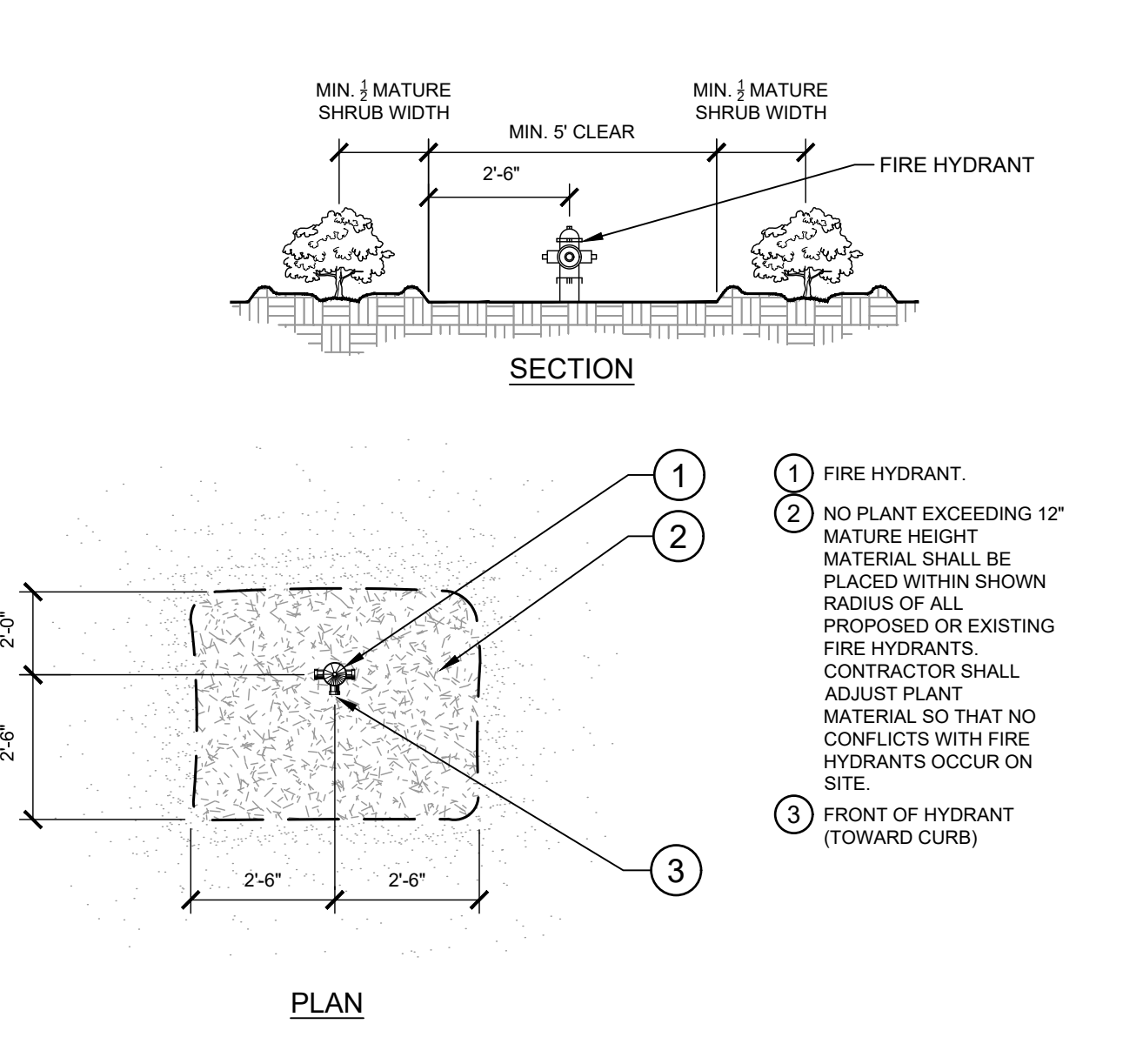
1 TREE PLANTING
SECTION / PLAN
NTS



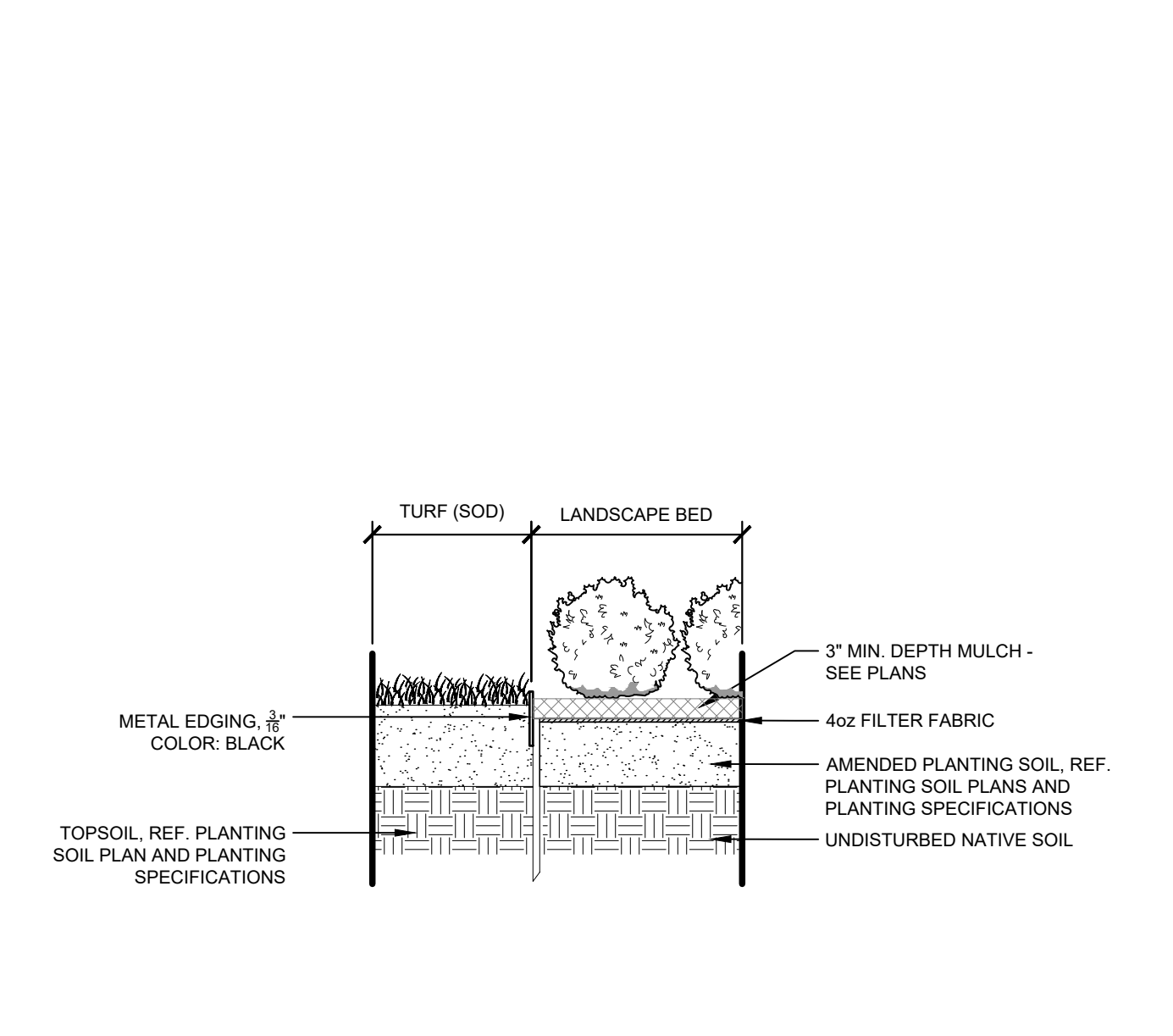
2 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



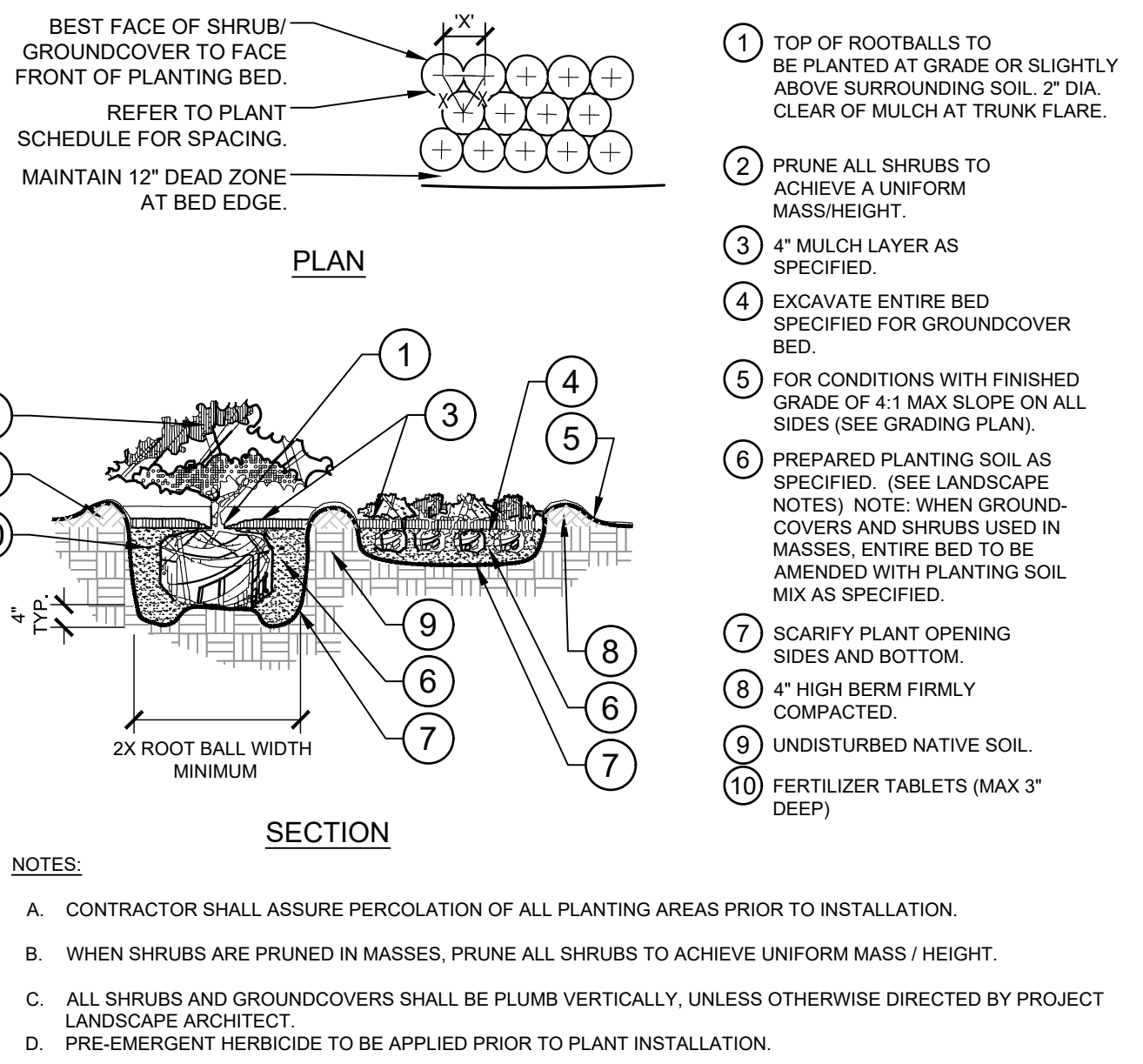
3 PARKING SPACE/CURB PLANTING
SECTION
NTS



4 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS



5 METAL EDGER AT PLANTING BED
SECTION / PLAN
1" = 1"
096-523-009-21
NTS



6 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS

DETENTION SEED MIX

WATER PLANTAIN	ALISMA SUBCORDATUM
SWAMP MILKWEED	ASCLEPIAS INCARNATA
TICKSEED SUNFLOWER	BIDENS ARISTOSA
ALLEGHENY MONKEYFLOWER	MIMULUS RINGENS
DITCH STONECROP	PENTHORUM SEDOIDES
CUTLEAF CONEFLOWER	RUDBECKIA LACINIATA
COMMON ARROWHEAD	SAGITTARIA LATIFOLIA
BLUE VERVAIN	VERBENA HASTATA
AWL-FRUITED SEDGE	CAREX STIPATA
FOX SEDGE	CAREX VULPINOIDEA
VIRGINIA WILDRIE	ELYMUS VIRGINICUS
SPIKE RUSH	ELEOCHARIS SPECIES
SOFT RUSH	JUNCUS EFFUSUS
PATH RUSH	JUNCUS TENUIS
RICE CUT GRASS	LEERSIA ORYZOIDES
SWITCHGRASS	PANICUM VIRGATUM
SOFTSTEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI
PRAIRIE CORDGRASS	SPARTINA PECTINATA
NURSE CROPS:	
COMMON OATS	AVENA SATIVA
ANNUAL RYE	LOLIUM MULTIFLORUM

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND SEDGES THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER. PRODUCT CODE: DBWT PLANTING RATE: 35 LBS./ACRE *MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES. NOTE: POND STABILIZATION TO FOLLOW SECTION 1013. SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND

NATIVE SEED MIX

SANDY SOILS	#PLS/AC
Hilaria jamesii 'Viva' - Galleta	7.0
Oryzopsis hymenoides 'Paloma' - Indian Rice Grass	5.0
Bouteloua gracilis 'Hachita' - Blue Grama	2.0
Bouteloua curtipendula 'Vaughn' - Sideoats Grama	1.0
Agropyron smithii 'Arriba' - Western Wheat	1.0
Sporobolus cryptandrus - Sand Dropseed	1.0
Sporobolus airoides 'Salado' - Alkali Sacaton	1.0
Artemisia frigida - Fringed sagebush	.25
Sphaeralcea ambigua - Desert Globemallow	.25
Sphaeralcea parvifolia - Nelson Globemallow	.25
Helianthus annuus	.5
Oenothera pallida - White Evening Primrose	.25
Baileya multiradiata - Desert Marigold	.25
Abronia fragrans or Abronia villosa - Sand Verbena	.25
Dalea purpurea var purpurea - Purple Prairie Clover	.25
Machaeranthera canescens - Hoary tansyaster	.25
Berlandiera lyrata - Chocolate Flower	.25
Ratibida columnifera forma pulcherrima - Mexican Hat	.25

NOTE: POND STABILIZATION TO FOLLOW SECTION 1013. SEE DETAILS IN ALBUQUERQUE STANDARD SPECIFICATION 1013 FOR SLOPE STABILIZATION AND SEEDING AT DETENTION POND.

SEED RATE IS GIVEN IN POUNDS OF PURE LIVE SEED (PLS) PER ACRE. MIX SHALL INCLUDE AT LEAST FOUR OF THE WILDFLOWER SPECIES LISTED BELOW AT A TOTAL APPLICATION RATE OF AT LEAST 2.0# PLS/AC.

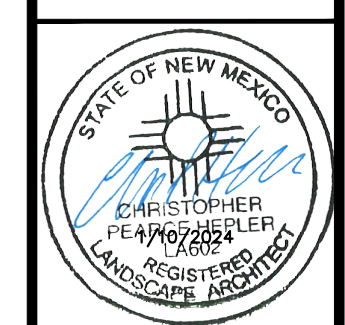
NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
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Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 1/15/2024

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
LANDSCAPE DETAILS



PROJECT NO.
096523009

SHEET
C5.6

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PLANT SCHEDULE LANDSCAPE AREA

SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	
TREES											
	XI	30			30	-----	EXISTING TREE TO REMAIN	-			
DECIDUOUS TREES											
	CO	10		10		CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.	
	GS	10	1	9		GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	B & B	2" CAL MIN	10' - 12' HT. MIN.	
	MP	10	1	9		MACLURA POMIFERA	OSAGE ORANGE	B & B	2" CAL MIN	10' - 12' HT. MIN.	
	PG	10	2	8		PROSOPIS GLANDULOSA	HONEY MESQUITE	B & B	2" CAL MIN	10' - 12' HT. MIN.	
	OG	10	9	1		QUERCUS GAMBELII	GAMBEL OAK	B & B	2" CAL MIN	10' - 12' HT. MIN.	
	SD	10	4	6		SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.	
EVERGREEN TREES											
	JS	10	4	6		JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6' HT MIN	
	PN	10	6	4		PINUS NIGRA	AUSTRIAN PINE	B & B		6' HT MIN	
ORNAMENTAL TREES											
	CL	10	6	4		CHILOPSIS LINEARIS	DESERT WILLOW	B & B	2" CAL MIN	10' - 12' HT. MIN.	
	CA	10	7	3		CRATAEGUS AMBIGUA	RUSSIAN HAWTHORN	B & B	2" CAL MIN	10' - 12' HT. MIN.	
SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE	
SHRUBS											
	AL	22	22			AMORPHA CANESCENS	LEADPLANT	5 GAL	SEE PLAN	18" FULL	
	AW	48	48			ANISACANTHUS WRIGHTII	WRIGHT'S DESERT HONEYSUCKLE	5 GAL	SEE PLAN	18" HT MIN	
	AT2	36	36			ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	5 GAL	SEE PLAN	36" FULL	
	BM	33	33			BUDDLEJIA MARRUBIFOLIA	WOOLY BUTTERFLY BUSH	5 GAL	SEE PLAN	36" FULL	
	HP	28	18	10		HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	SEE PLAN	18" FULL	
	LS	48	48			LEUCOPHYLLUM FRUTESCENS 'COMPACTA'	COMPACT TEXAS RANGER	5 GAL	SEE PLAN	24" HT MIN	
SYMBOL	CODE	QTY	BUFFER	LANDSCAPE AREA	STREET SCAPE	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING	SPACING
GROUND COVERS											
	RM	54,346 SF	9,350 SF	34,954 SF	10,042 SF	1-1/2" - 2" ROCK MULCH	TO MATCH EXISTING	-			
	XL2	8,281 SF		8,281 SF		1-4" ANGULAR AGGREGATE MULCH ROCK	1-4" ANGULAR AGGREGATE MULCH	ROCK			
	XT	4,093 SF		4,093 SF		2-4" ANGULAR AGGREGATE MULCH ROCK	2-4" ANGULAR AGGREGATE MULCH	ROCK			
	XL	24,594 SF		24,594 SF		APPLEWOOD NATIVE SEED MIX	NATIVE SEED MIX	SEED			
	XA	8,060 SF		8,060 SF		APPLEWOOD SEED MIX	DETENTION SEED MIX	SEED			

CODE TABLE

LANDSCAPE AREA
TOTAL LOT AREA = 39.94 ACRES / 1,739,791 SF

TOTAL GROSS LOT AREA = 1,739,791 SF
TOTAL BUILDING AREA (EXISTING TO REMAIN) = 103,007 SF
TOTAL BUILDING AREA (PROPOSED) = 89,631 SF
NET LOT AREA = 1,547,153 SF

TOTAL NET LOT AREA = 1,547,153 x 20% =
TOTAL LANDSCAPE REQUIREMENT = 309,431 SF

EXISTING LANDSCAPE = 285,700 SF
PROPOSED LANDSCAPE = 94,658 SF
TOTAL LANDSCAPE AREA PROVIDED = 380,358 SF (24%)
*NOT COUNTING OVERLAPPING MULCH

EXISTING TREES TO BE REMOVED = 1 TREE
EXISTING TREES TO REMAIN = 30 TREES
PROVIDED SHADE TREES = 60 TREES
PROVIDED ACCENT/ORNAMENTAL TREES = 20 TREES
PROVIDED EVERGREEN TREES = 20 TREES

TOTAL COVERAGE (PROPOSED LANDSCAPE AREA) = 94,658 x 75% =
TOTAL COVERAGE REQUIREMENT = 70,933.5 SF
TOTAL COVERAGE PROVIDED = 94,434 SF
COVERAGE OF ROCK MULCH PROVIDED = 62,003 SF (66%)
COVERAGE OF GROUND-LEVEL PLANTS REQ. = 23,664.5 SF (25%)
COVERAGE OF GROUND-LEVEL PLANTS PROV. = 36,754 SF (39%)
*CALCULATION ASSUMES 20 SF PER GROUND PLANT AS AN AVERAGE MATURE SPREAD AND CANOPY COVERAGE

14-6-5-6(F) PARKING LOT LANDSCAPING
242 PROPOSED PARKING STALLS
1 TREE / FOR EACH 10 PARKING STALLS REQUIRED = 25 TREES
TOTAL TREES PROVIDED = 25 TREES

14-6-5-6(D) STREET TREE LANDSCAPING
1,118 LF OF STREET FRONTAGE
1 TREE / PER 25 LF OF STREET FRONTAGE REQUIRED = 45 TREES
TOTAL TREES PROVIDED = 15 TREES
EXISTING TREES TO REMAIN = 30 TREES

14-6-5-6(E) EDGE BUFFER LANDSCAPING
819 LF OF PERIMETER
1 TREE / PER 20 LF OF SITE PERIMETER REQUIRED = 41 TREES
5 SHRUBS / PER 20 LF OF SITE PERIMETER REQUIRED = 205 SHRUBS
TOTAL TREES PROVIDED = 41 TREES
TOTAL SHRUBS PROVIDED = 205 SHRUBS

14-6-5-6(C) PEDESTRIAN WALKWAYS
459 LF OF PEDESTRIAN WALKWAYS
1 TREE / PER 25 LF OF PEDESTRIAN WALKWAY REQUIRED = 19 TREES
TOTAL TREES PROVIDED = 19 TREES

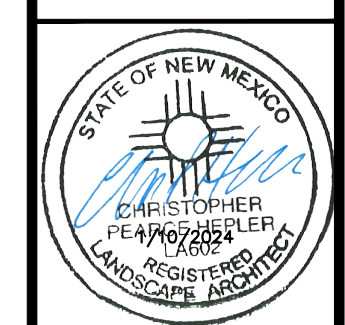
NO.	REVISION	BY	DATE	APPR

Kimley»Horn
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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 1/15/2024

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

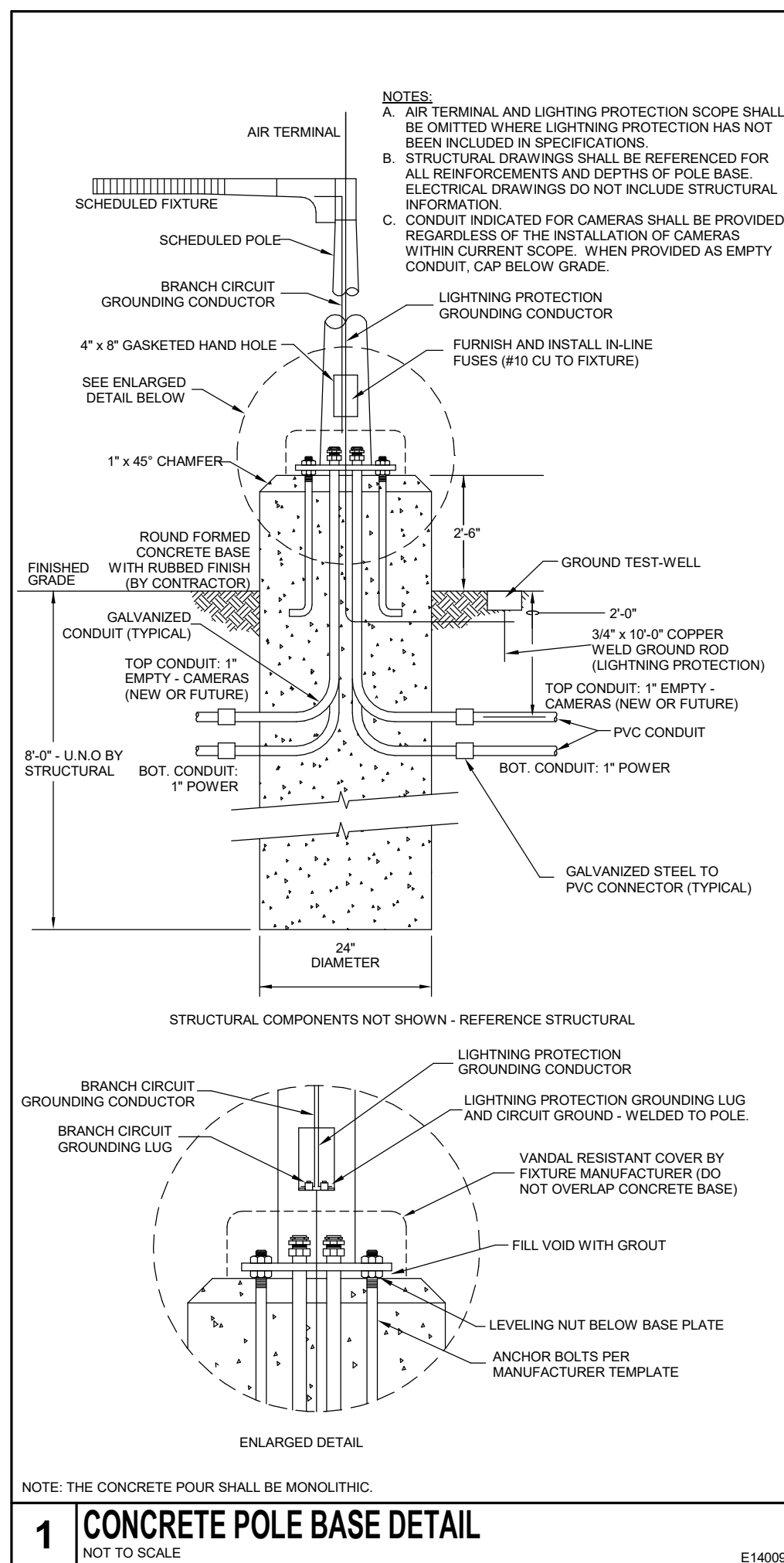
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
SITE PLAN - DFT
LANDSCAPE DETAILS



PROJECT NO.
096523009

SHEET
C5.7

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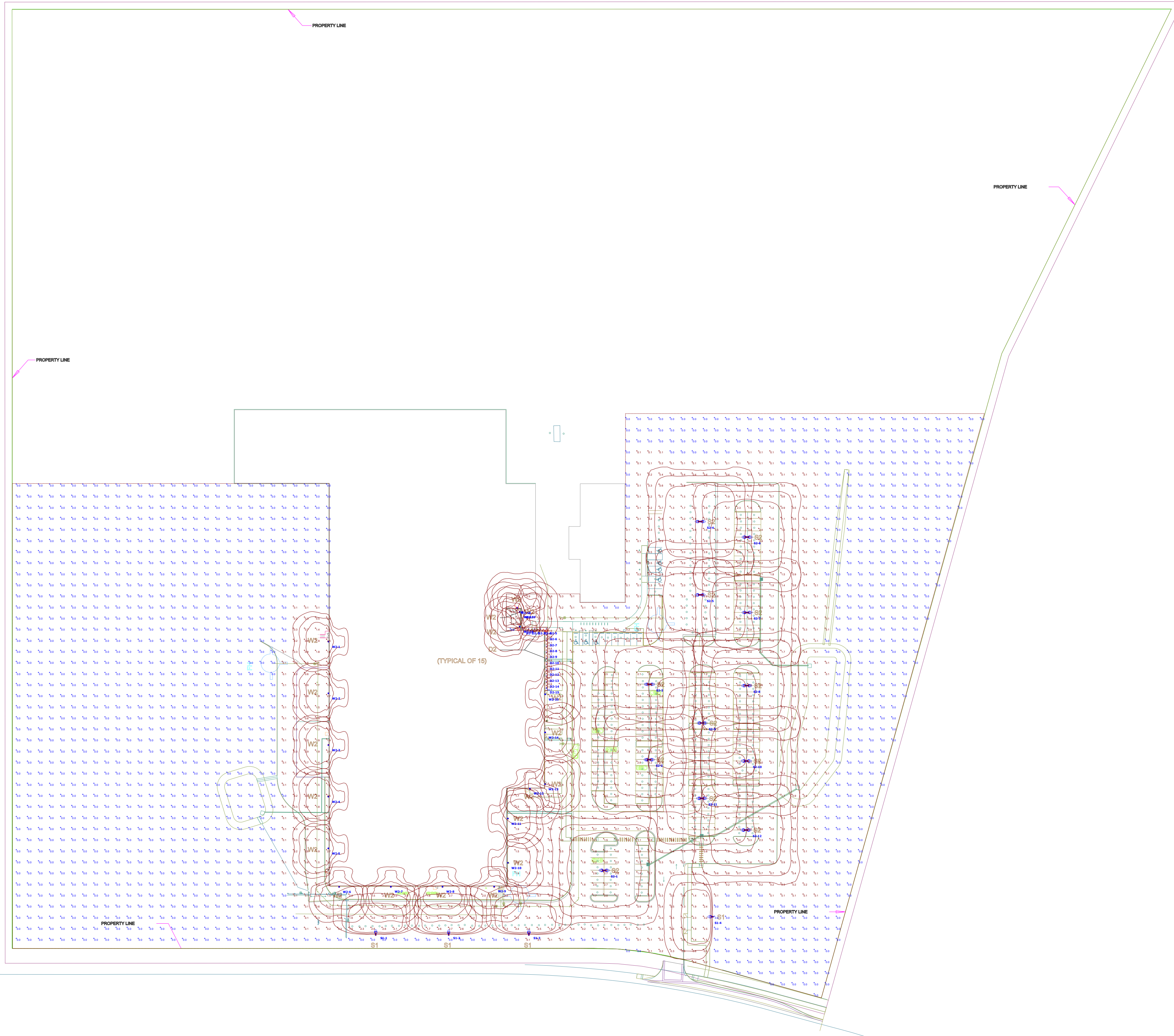


Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
S1			4	NLS Lighting	NV-1 T3 48L 7 40K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 3 WITH HOUSE SIDE SHIELD	1	6968	1	104.3	
S2			12	NLS Lighting	NV-1 T5 48L 7 40K	NV-1 SERIES SIZE 1 AREA LUMINAIRE 48 LED PERFORMANCE 4000K CCT TYPE 5	1	12480	1	208.6	
W2			19	Lithonia Lighting	W062 LED P4 40K 70CRI 1FTM	W062 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	1	4742	1	46.6589	
D2			15	Lithonia Lighting	LDN4 40/20 LO4AR LSS	4IN LDN, 4000K, 2000LM, CLEAR, SEMI-SPECULAR REFLECTOR, 80CRI	1	2008	1	22.32	

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
GRADE LEVEL	+	2.04 fc	26.2 fc	0.0 fc	N/A	N/A

- Note**
1. ALL CALCULATION POINTS SET AT GRADE LEVEL, 0'.
 2. ALL SITE LIGHTING POLES SET AT 18'6" OVERALL.
 3. ALL WALL PACKS ARE MOUNTED AT 15'.
 4. ALL DOWN LIGHTING IS MOUNTED AT 12', RECESSED.
 5. ALL SITE AND BUILDING-MOUNTED LIGHT FIXTURES ARE FULL CUT-OFF.
 6. ALL LIGHT FIXTURES INSTALLED IN CANOPIES ARE RECESSED ABOVE THE LOWER EDGE OF THE CANOPY AND HAVE FLAT LENSES.



DBR
 9990 Richmond Avenue
 South Building, Suite 300
 Houston, Texas 77042
 713.914.0886 p 713.914.0886 f
 TBPE Firm Registration No. 2234

DBR Project Number	230277.000			
EK	LG	DT	GH	-

ISSUE FOR PERMIT	DT	TR
	01/22/2024	

Kimley»Horn

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 6400 South Syracuse Way, Suite 300
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED	MEJ
BROWN BY	MEJ
CHECKED	SAL
DATE	

LEGAL DESCRIPTION:
 TRACT A, AIRISCO
 BUSINESS PARK UNIT 1
 CONTAINING 39.775 ACRES

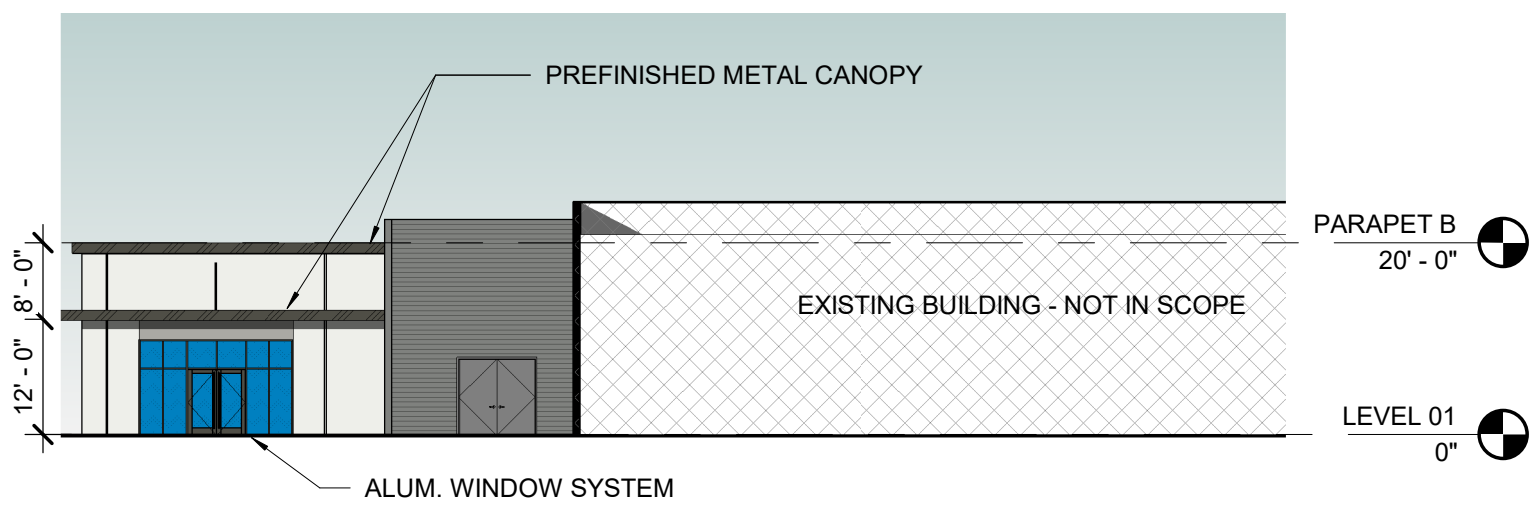
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 SITE PLAN

SHEET TITLE:
 SITE
 PHOTOMETRICS

PROJECT NUMBER
 234047

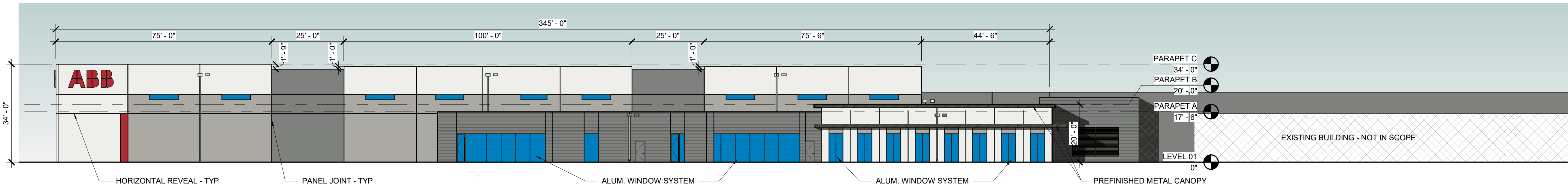
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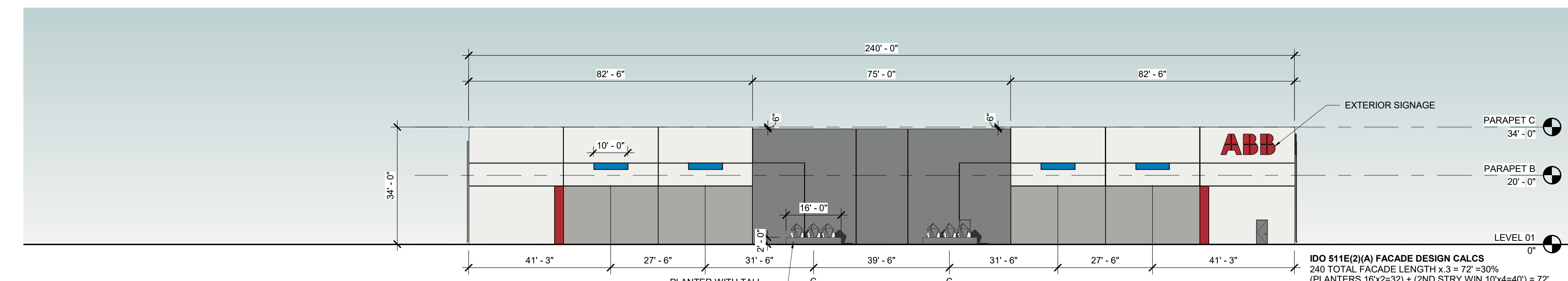
OVERALL ELEVATION - NORTH - SDP

SCALE: 1" = 20'-0"



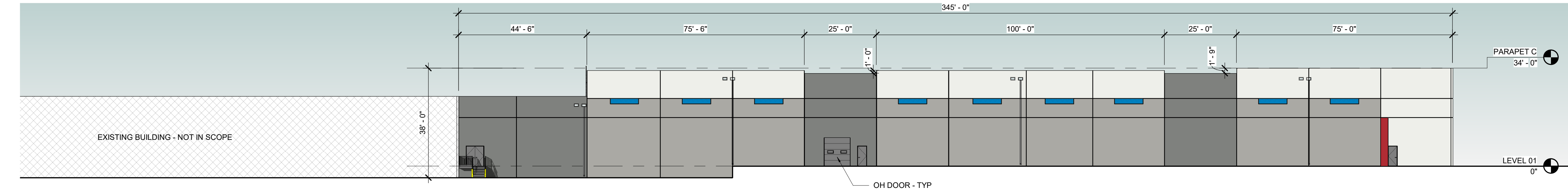
OVERALL ELEVATION - EAST - SDP

SCALE: 1" = 20'-0"



OVERALL ELEVATION - SOUTH - SDP

SCALE: 1" = 20'-0"



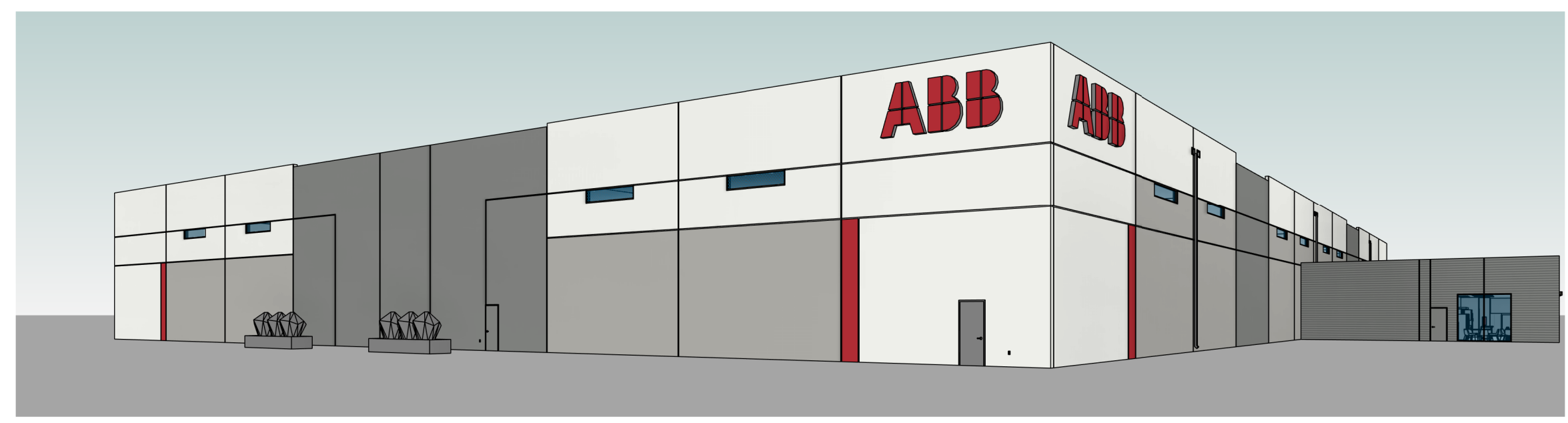
OVERALL ELEVATION - WEST - SDP

SCALE: 1" = 20'-0"



3D VIEW @ NE CORNER

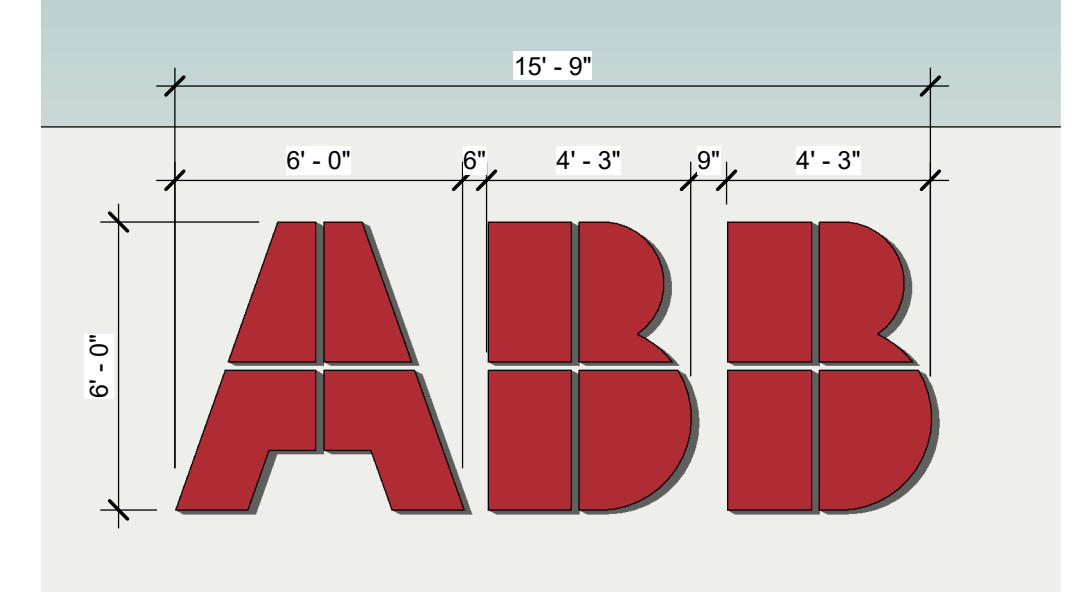
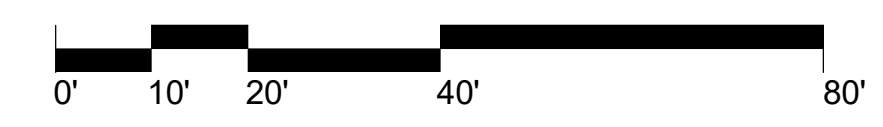
SCALE:



3D VIEW @ SE CORNER

SCALE:

- FIELD PAINT - EXTRA WHITE SW 70006
- ACCENT PAINT 1 - ELLIE GRAY SW7650
- ACCENT PAINT 2 - CITYSCAPE SW7067
- ACCENT PAINT 3 - POSITIVE RED 6871
- ACCENT PAINT 2 WITH FORMLINER
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



SIGN NOTES:
 SIGN AREA: 66 SF
 TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN
 MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

EXTERIOR SIGNAGE - ABB LOGO

SCALE: 1/4" = 1'-0"

IDO 511E(2)(A) FACADE DESIGN CALCS
 240 TOTAL FACADE LENGTH x .3 = 72' = 30%
 (PLANTERS 16'x2=32) + (2ND STRY WIN 10'x4=40) = 72'

NO.	REVISION	BY	DATE	APPR.

2150 W 29th Ave,
 Suite 400
 Denver, Colorado 80211
 303.225.3345
 www.powersbrown.com

powers brown architecture

DESIGNED BY: MF
 DRAWN BY: MF
 CHECKED BY: KS
 DATE: 01/05/2023

LEGAL DESCRIPTION:
 TRACT A, ATRISCO
 BUSINESS PARK, UNIT 1
 CONTAINING 39.775 ACRES

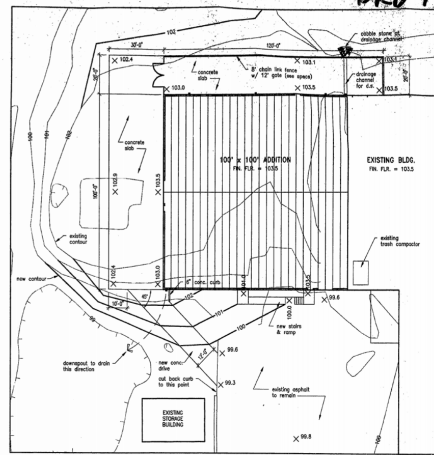
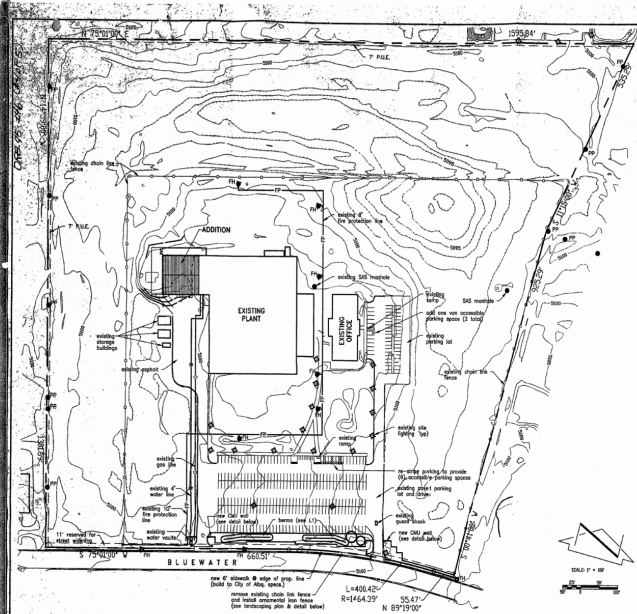
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 BUILDING ELEVATIONS

STATE OF NEW MEXICO
 JEFFREY L. BROWN
 NO. 604131
 REGISTERED ARCHITECT
 9 SEPT 2024
 PROJECT NO. 096523009

SHEET
A1.0

GOVERNING SITE PLAN SET

DRB-95-146

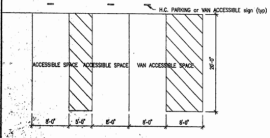


LEGAL DESCRIPTION
 TRACT A, KRIBOS BUSINESS PARK, UNIT 1

PARKING REQUIREMENTS
 Existing Office: 1,000 sq ft → 200 spaces
 Office Manufacturing: 10,000 sq ft → 200 spaces
 New Manufacturing: 10,000 sq ft → 200 spaces
 Required Total Parking Spaces: 400
 Required Accessible Spaces (1% to be van spaces): 4
 Provided Total Parking Spaces: 400
 Provided Accessible Spaces (1% to be van spaces): 4

ENLARGED SITE PLAN (of addition)
 SCALE: 1" = 20'-0"

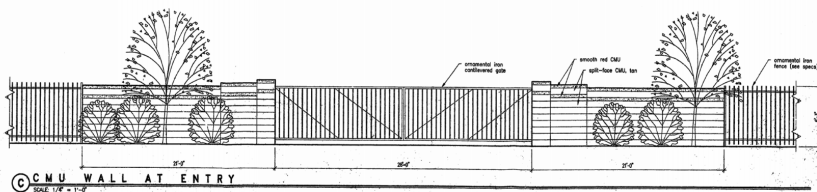
SITE PLAN
 SCALE: 1" = 100'-0"



H.C. PARKING SPACES
 SCALE: 1/8" = 1'-0"



PARKING LOT PLANTER
 SCALE: 1/8" = 1'-0"



CMU WALL AT ENTRY
 SCALE: 1/2" = 1'-0"

ALEXANDER HARRISON ARCHITECT
 8000 Montebello Road NE, Albuquerque, NM 87122-2042
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PROJECT: BLASTIMOLD SITE-NEW
 DATE: March 27, 1995
 DRAWN BY: [Name]
 CHECKED BY: [Name]

BLASTIMOLD
 Albuquerque, New Mexico

SCALE: 1/8" = 1'-0"

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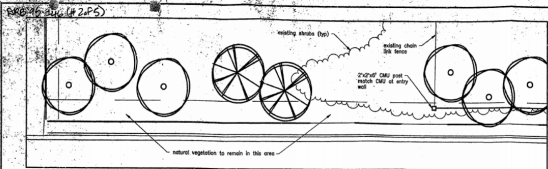
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[Signature]
 ROBERT PUBLIC

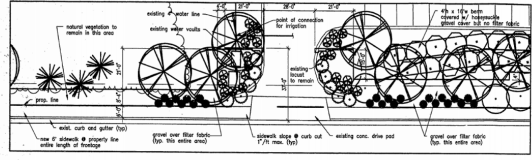
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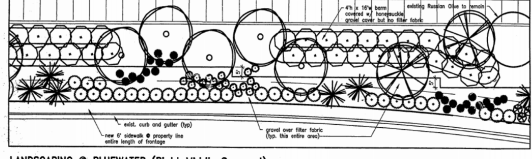
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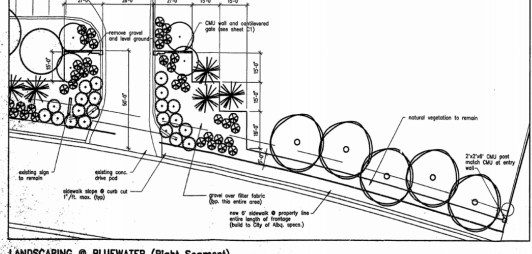
LANDSCAPING @ BLUEWATER (Left Segment)
SCALE: 1" = 20'-0"



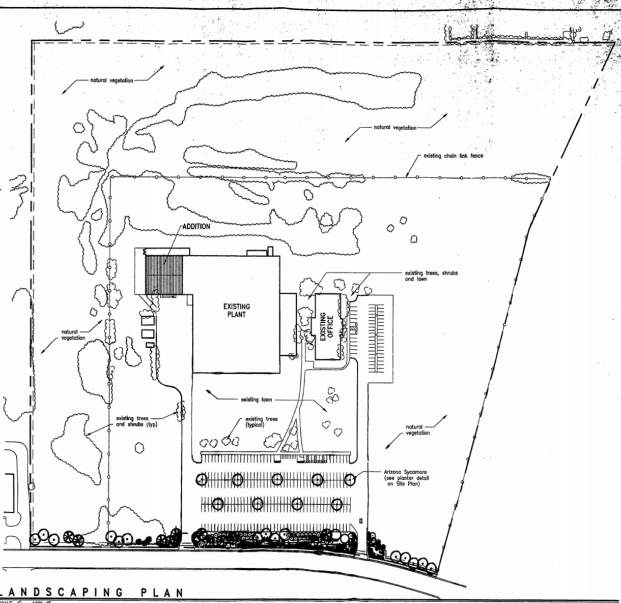
LANDSCAPING @ BLUEWATER (Left Middle Segment)
SCALE: 1" = 20'-0"



LANDSCAPING @ BLUEWATER (Right Middle Segment)
SCALE: 1" = 20'-0"



LANDSCAPING @ BLUEWATER (Right Segment)
SCALE: 1" = 20'-0"



LANDSCAPING PLAN
SCALE: 1" = 100'-0"

Symbol	Plant Name	Quantity	Plant Size		Notes
			Height	Spread	
A	ARIZONA SAGUARO (Phoenix saguaro)	40-45	30'-40'	10'	(1) 2 gal
B	PLUMBY LOCUST (Crotalaria tomentosa)	50	30'-40'	10'	(1) 2 gal
C	LAUREL PINE (Lawsonia inermis)	20	15'	10'	(1) 2 gal
D	SUBBISH ALM (Prosopis juliflora)	20	15'	10'	(1) 2 gal
E	SCOTCH WILLOW (Salix scotica)	20	15'	10'	(1) 2 gal
F	COYOTE (Chrysothamnus nauseosus)	5	9'	9'	(1) 1/2 gal
G	FRUIT-EATERS (Suaeda frutescens)	4	4'	4'	(1) 1 gal
H	RED BUDWOOD (Eucalyptus maculata)	3	4'	4'	(1) 1 gal
I	CHAMPAGNE CACTUS (Cholla)	7	10'	10'	(1) 1 gal
J	SMALL YONKERSVILLE (Lonicera japonica)	8	1'-2'	1'	(1) 1 gal

MINIMUM PLANT SIZE: TREES - 2" caliper or 10'-12"; SHRUBS AND VINES - 6 gal
 NOTES: 1. 3/4" crushed stone, 2" deep. Slope for lawn.
 2. FLEXI-FILLING "Gravel" "Type" landscape mulch.
 3. IRRIGATION SYSTEM: Landscape Contractor shall submit a drip irrigation plan for approval by architect. Install electric valves and electrical timer. Provide necessary connections to existing water and electric.
 4. All plants and irrigation system shall be guaranteed for (1) year. Any plants not surviving (1) year shall be replaced at Contractor's expense.

ALEXANDER HARRISON ARCHITECT
 800 Main Street, Albuquerque, NM 87102-2000



Project: ELASTIMOLD, NEW
 Date: March 27, 1995
 Drawing: 1

ELASTIMOLD
 Albuquerque, New Mexico

LANDSCAPING PLAN
 1 of 1

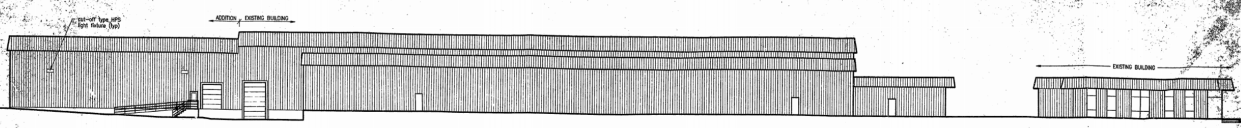
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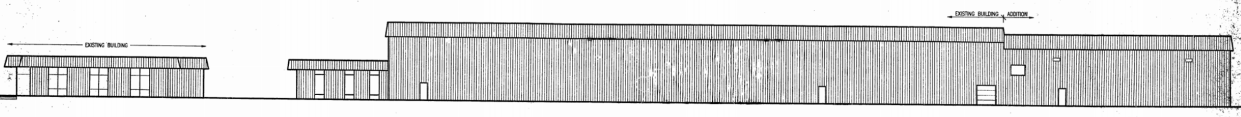


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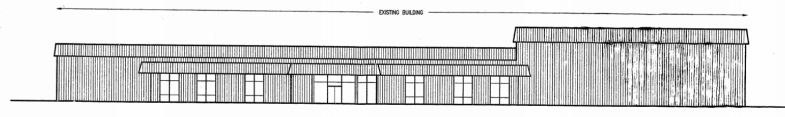
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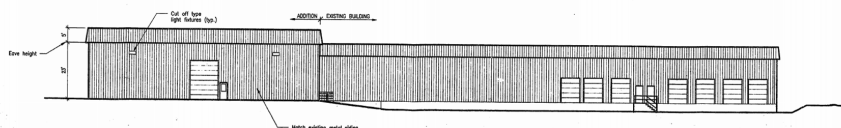
SOUTH ELEVATION
SCALE 1/4" = 1'-0"



NORTH ELEVATION
SCALE 1/4" = 1'-0"



EAST ELEVATION
SCALE 1/4" = 1'-0"



WEST ELEVATION
SCALE 1/4" = 1'-0"

ALEXANDER HARRISON ARCHITECT
1800 Mountain Road, N.E., Albuquerque, New Mexico 87102

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FILE NO. PROJECT: ALABUQUERQUE - CIVIC CENTER

DATE: MARCH 28, 1988

REVISION:

ELASTIMOLD
Albuquerque, New Mexico

EXHIBIT ALABUQUERQUE

AT

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WJR *David H. Smith* *op'd*

CITY OF ALBUQUERQUE

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Richard H. Smith
DIRECTOR

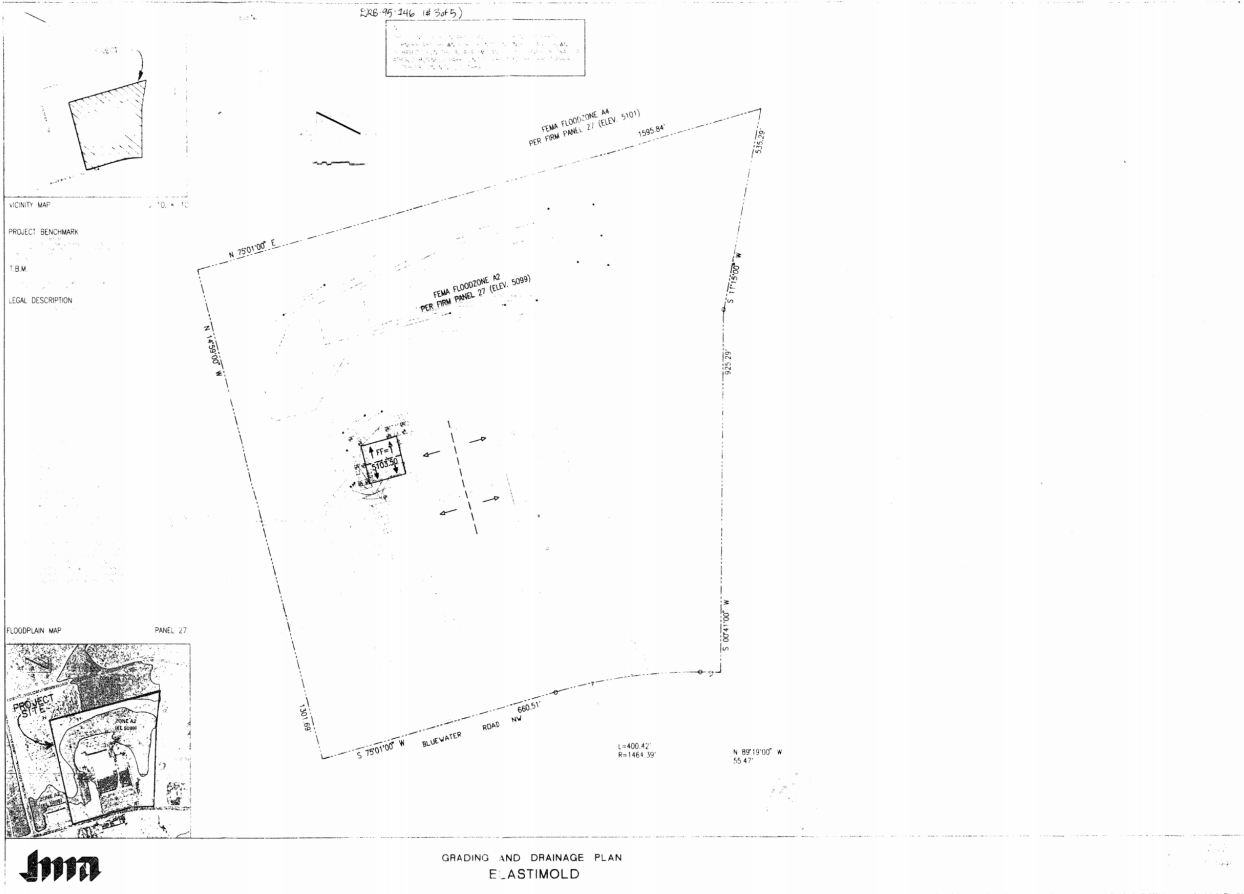
Richard H. Smith
DIRECTOR

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NEW MEXICO

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CITY OF ALBUQUERQUE

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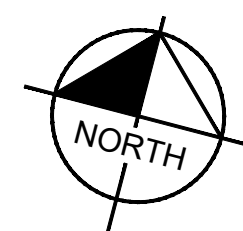
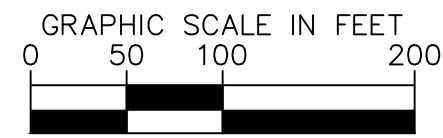


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EPC MAJOR AMENDMENT APPROVED SITE PLAN
(PR-2023-009209)

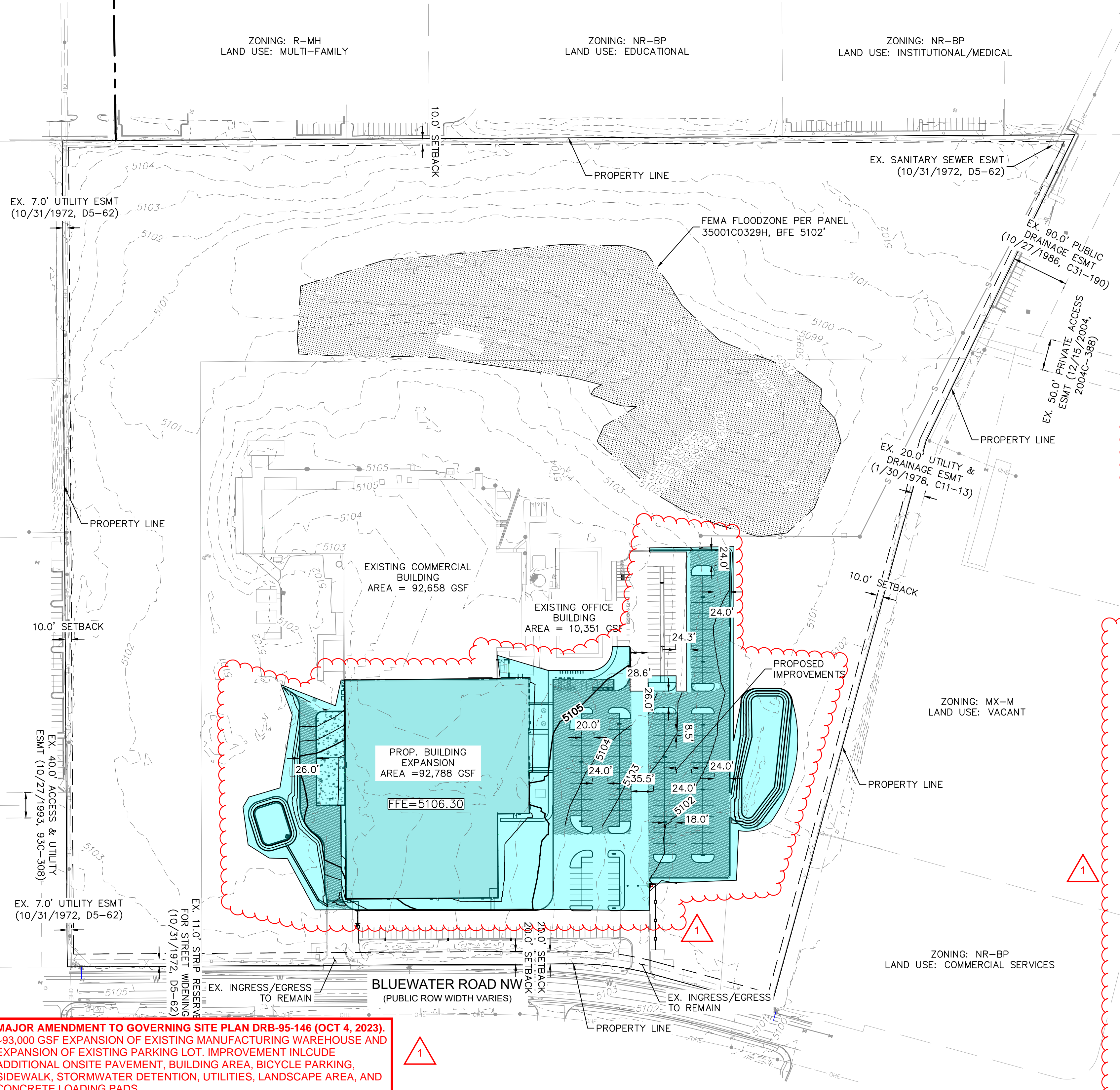
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VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



PROJECT LOCATION



SITE DEVELOPMENT DATA

LEGAL DESCRIPTION:
 • TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

LAND AREA:
 • 39.775 ACRES

ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK
 PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

BUILDING AREAS:
 • EXISTING - ±103,000 SF
 • PROPOSED - ±92,800 SF
 • TOTAL = ±195,800 SF

DESIGN GUIDELINES:
 • THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), EFFECTIVE 7/17/2023.

SET BACKS (IDO TABLE 2-5-3):
 • FRONT: 20 FEET
 • SIDE: 10 FEET
 • REAR: 10 FEET

BUILDING HEIGHT (IDO TABLE 2-5-3):
 • ALLOWABLE MAX: 65 FEET
 • EXISTING MAX HEIGHT: 28 FEET
 • PROPOSED MAX HEIGHT: 32 FEET

PROJECT DESCRIPTION

COUNTY: BERNALILLO COUNTY
 ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121
 OWNER: AMERACE CORPORATION

PROJECT DESCRIPTION:
 • THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF OF BUILDING COVERAGE.

SITE IMPROVEMENTS:
 • THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM
 • EGRESS AND INGRESS POINTS WILL REMAIN THE SAME
 • A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.
 • A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.
 • EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

PARKING CALCULATIONS

BUILDING USE =	LIGHT MANUFACTURING
PARKING REQUIREMENTS =	1 SPACES / 1,000 SF GFA
REQUIRED PARKING SPACES =	193
REQUIRED ADA PARKING =	5
REQUIRED BICYCLE PARKING =	20
REQUIRED LOADING SPACES =	2
EXISTING PARKING SPACES =	260
EXISTING ADA PARKING SPACES =	8
EXISTING MOTORCYCLE SPACES =	4
PROPOSED PARKING =	439
PROPOSED ADA PARKING =	9
PROPOSED BICYCLE PARKING =	20
PROPOSED MOTORCYCLE PARKING =	6
PROPOSED EV CHARGING STALLS =	4
PROPOSED LOADING SPACES =	2

LEGEND

- PROPOSED IMPROVEMENTS
- EXISTING CONSTRUCTION TO REMAIN AND BE PROTECTED

REFER TO DETAILED SITE PLAN (SHEET 2) FOR DETAILED CALLOUTS

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023)
 -93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE AND EXPANSION OF EXISTING PARKING LOT. IMPROVEMENT INCLUDE ADDITIONAL ONSITE PAVEMENT, BUILDING AREA, BICYCLE PARKING, SIDEWALK, STORMWATER DETENTION, UTILITIES, LANDSCAPE AREA, AND CONCRETE LOADING PADS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn

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 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 03/10/2023

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

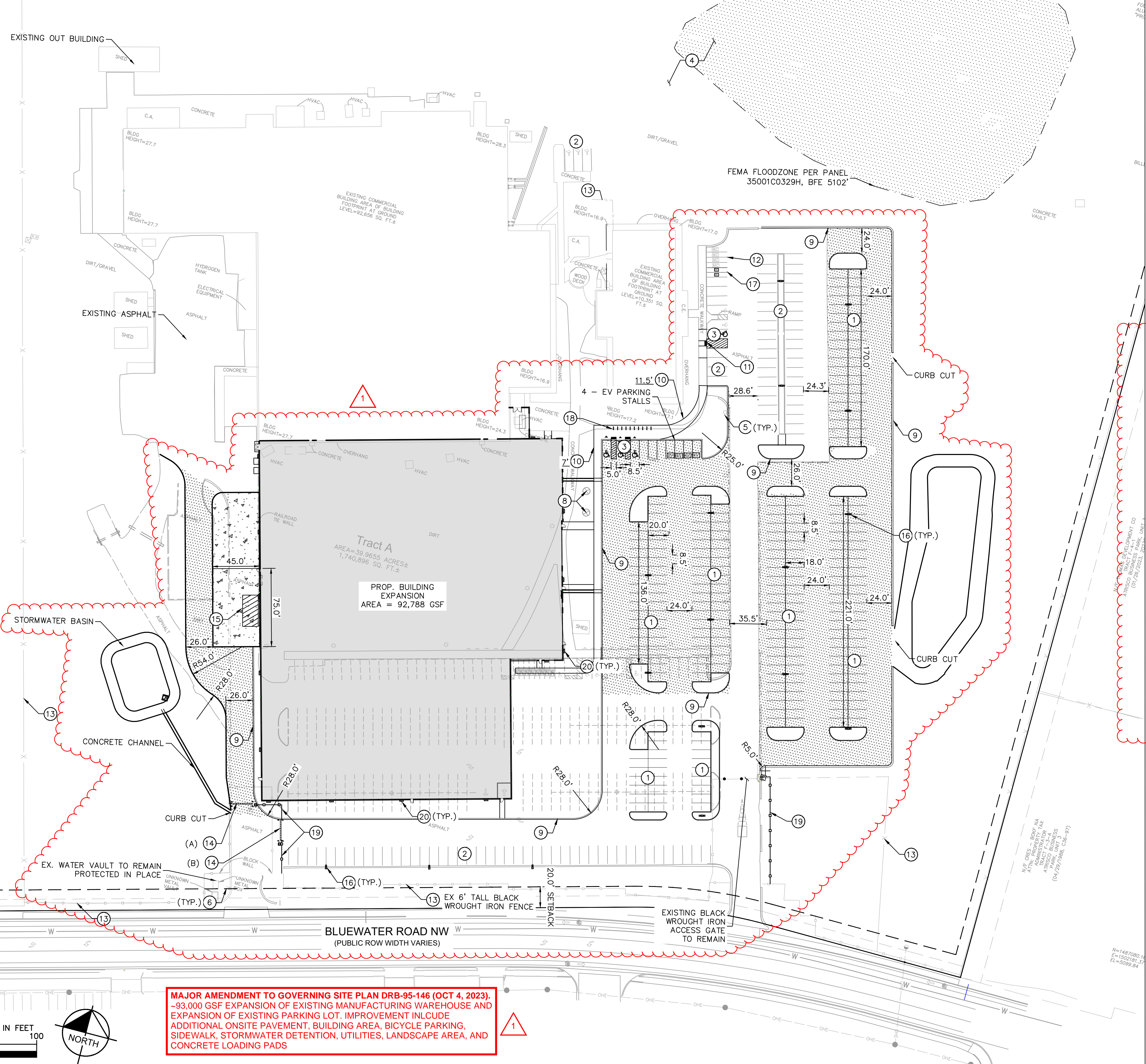
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 MAJOR AMENDMENT
 OVERALL SITE PLAN

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PROJECT NO.
 096523009

SHEET

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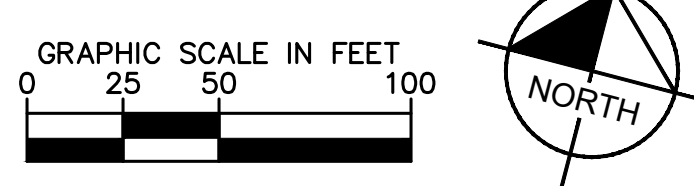


LEGEND:

	PROPERTY LINE
	ADJACENT SECTION LINE
	EX. UTILITY ESMT
	EX. WROUGHT IRON FENCE
	EX. CHAIN LINK FENCE
	EX. FIRE HYDRANT/VALVE
	EX. FLAGPOLE
	EX. SITE LIGHT
	EX. SIGN
	PROP. 6" VERTICAL CURB
	PROP. BUILDING
	PROP. FIRE LANE
	PROP. PAVEMENT
	PROP. BUILDING SETBACK
	PROP. POLE MOUNTED EXTERIOR LIGHTING
	PROP. BUILDING MOUNTED EXTERIOR LIGHTING

KEYNOTE LEGEND:

1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	EX. STANDARD PARKING STALLS (TO REMAIN)
3	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
4	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
5	EX. LIGHT POLES (TO REMAIN)
6	EX. SIGNAGE (TO REMAIN)
7	EX. FIRE HYDRANTS (TO REMAIN)
8	EX. FLAGPOLE (TO REMAIN)
9	PROP. 6" VERTICAL CURB
10	PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
11	PROP. ACCESSIBLE CURB RAMP
12	EX. MOTORCYCLE PARKING (TO REMAIN)
13	EX. SITE SECURITY FENCING (TO REMAIN)
14	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX
15	PROP. LOADING ZONE
16	NEW LIGHT POLE
17	PROP. MOTORCYCLE STALL (4' X 8' MIN)
18	NEW BICYCLE PARKING
19	NEW 6' BLACK WROUGHT IRON FENCE
20	NEW WALL MOUNTED LIGHTING



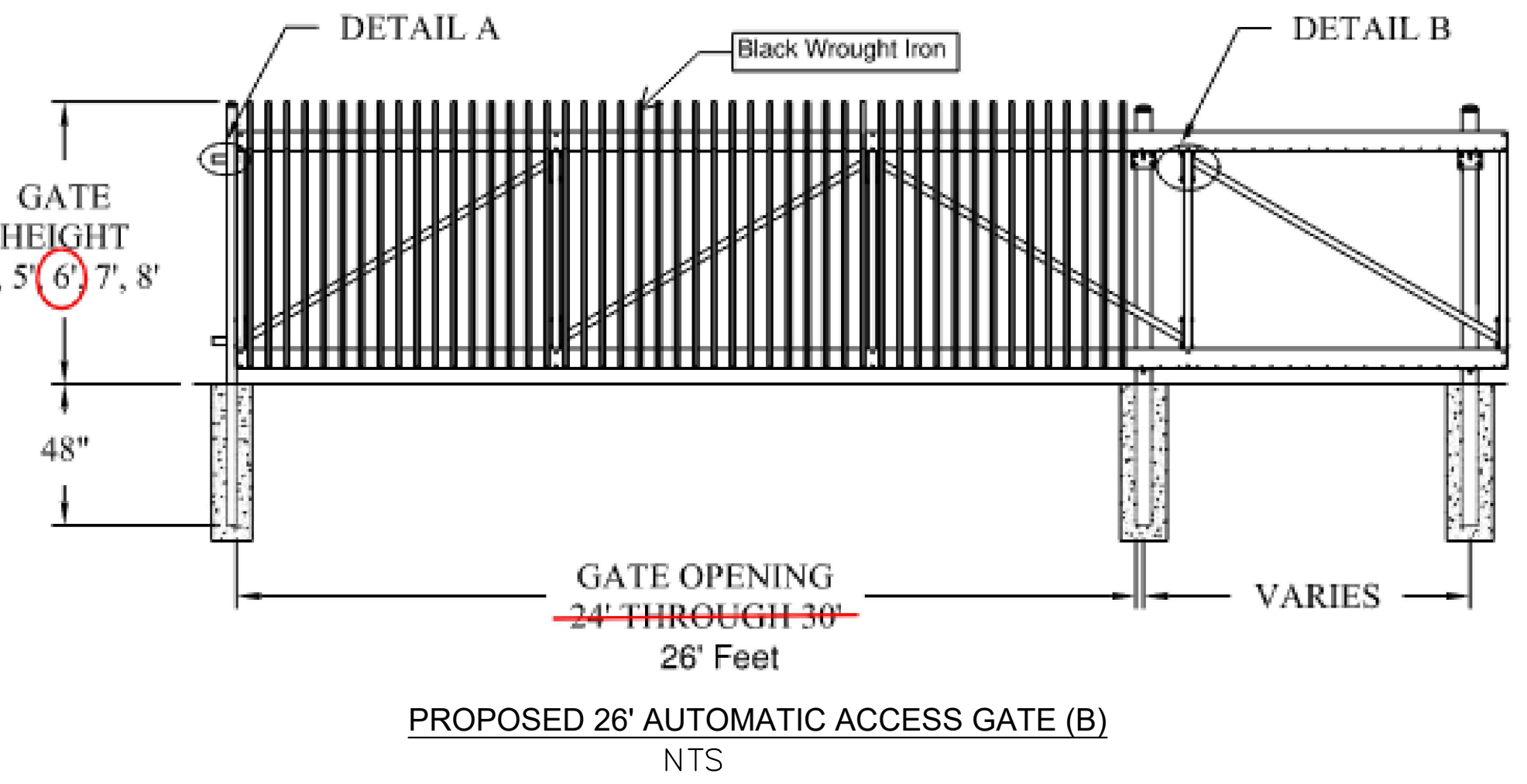
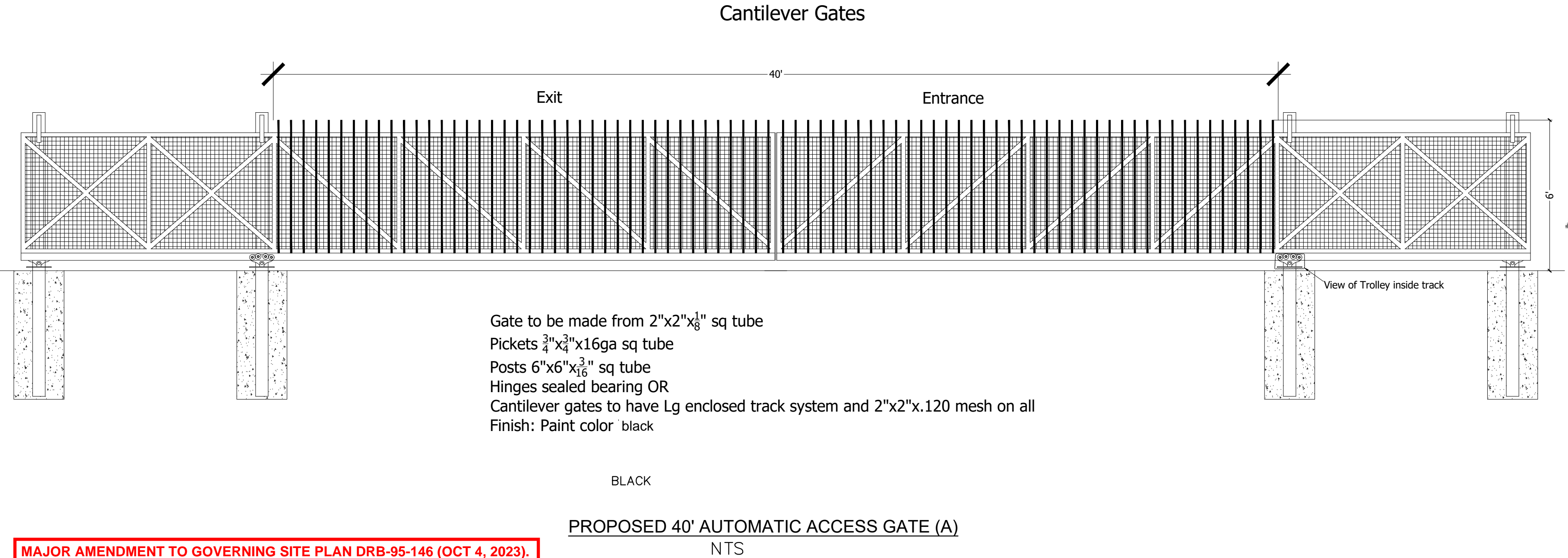
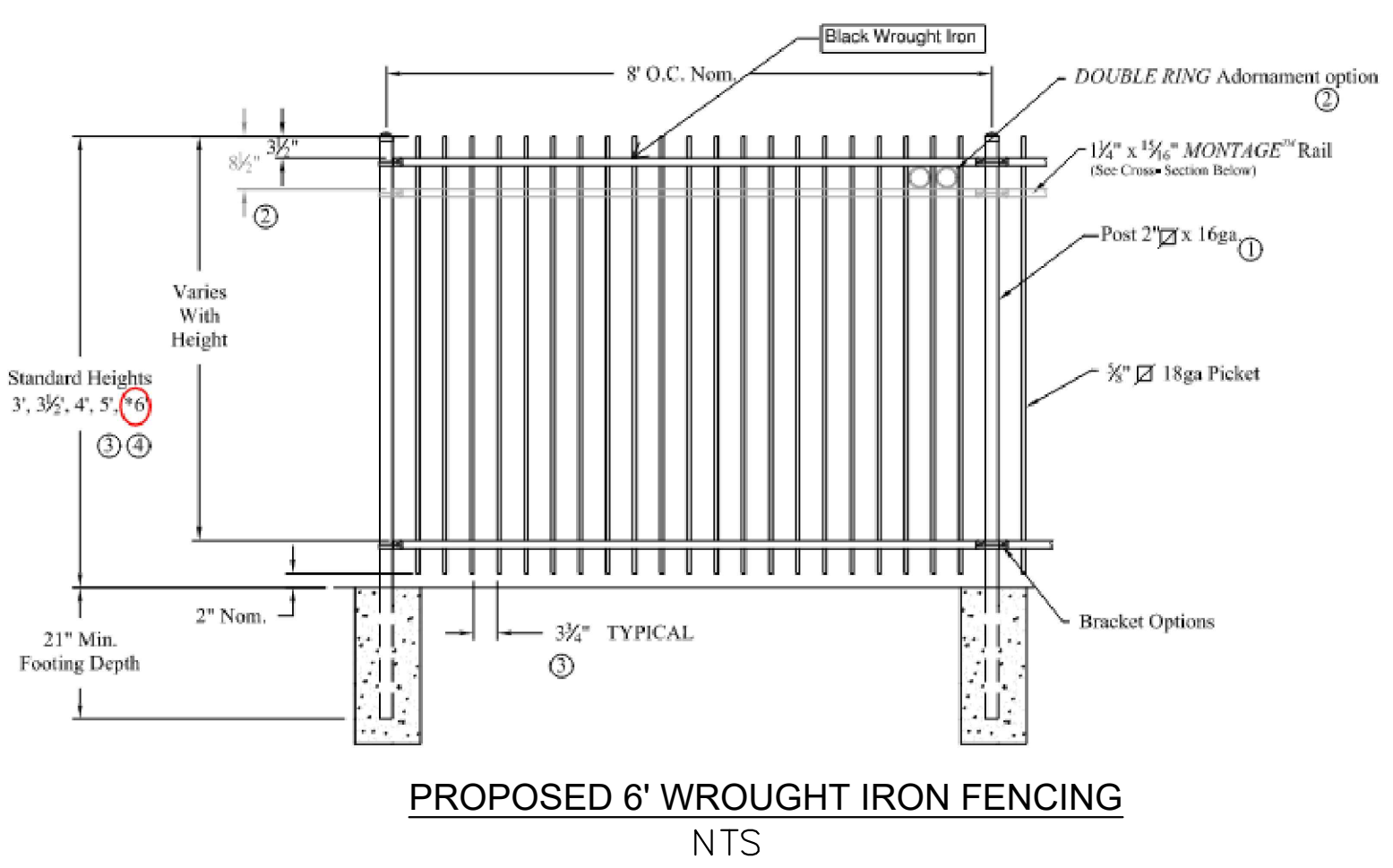
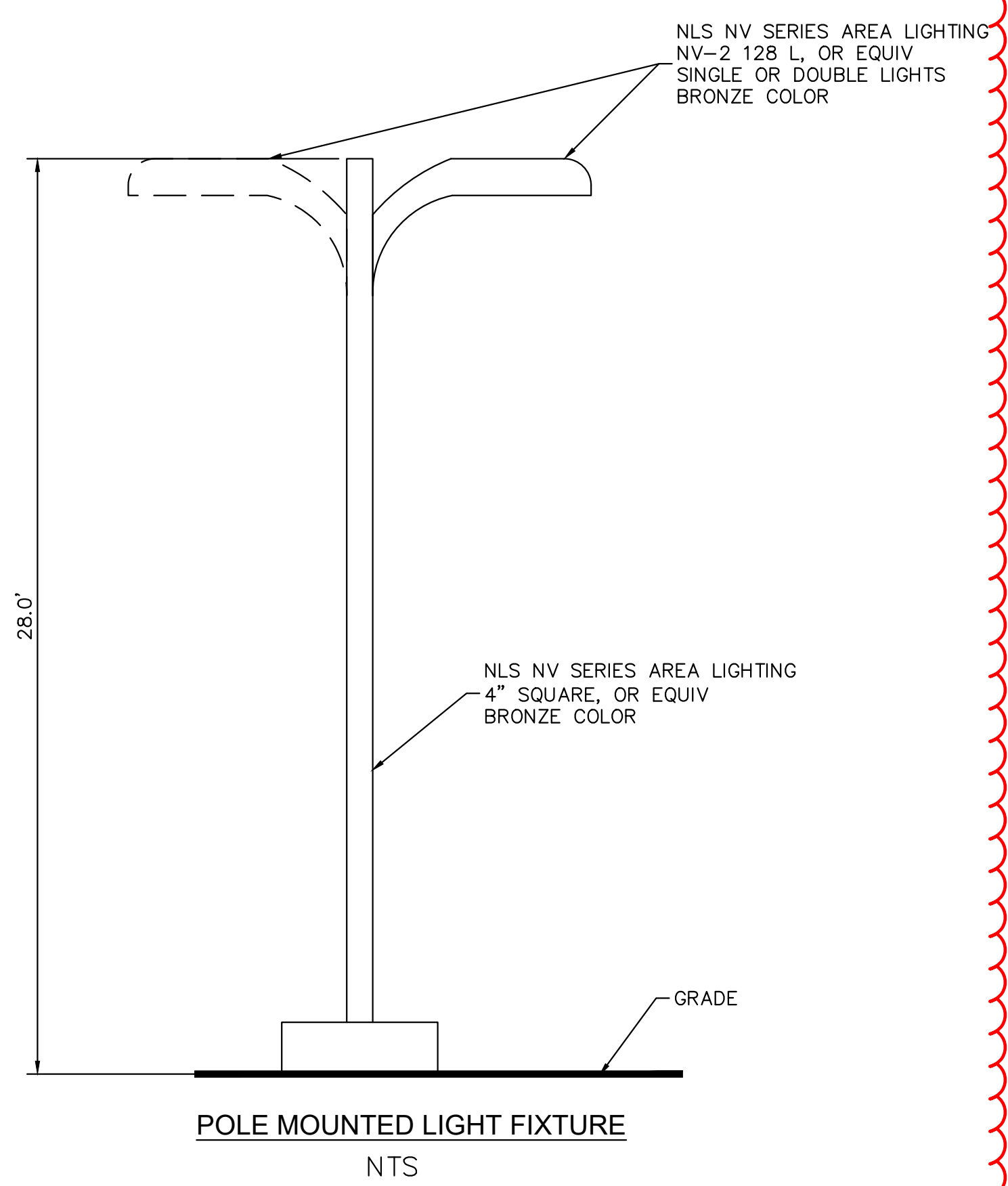
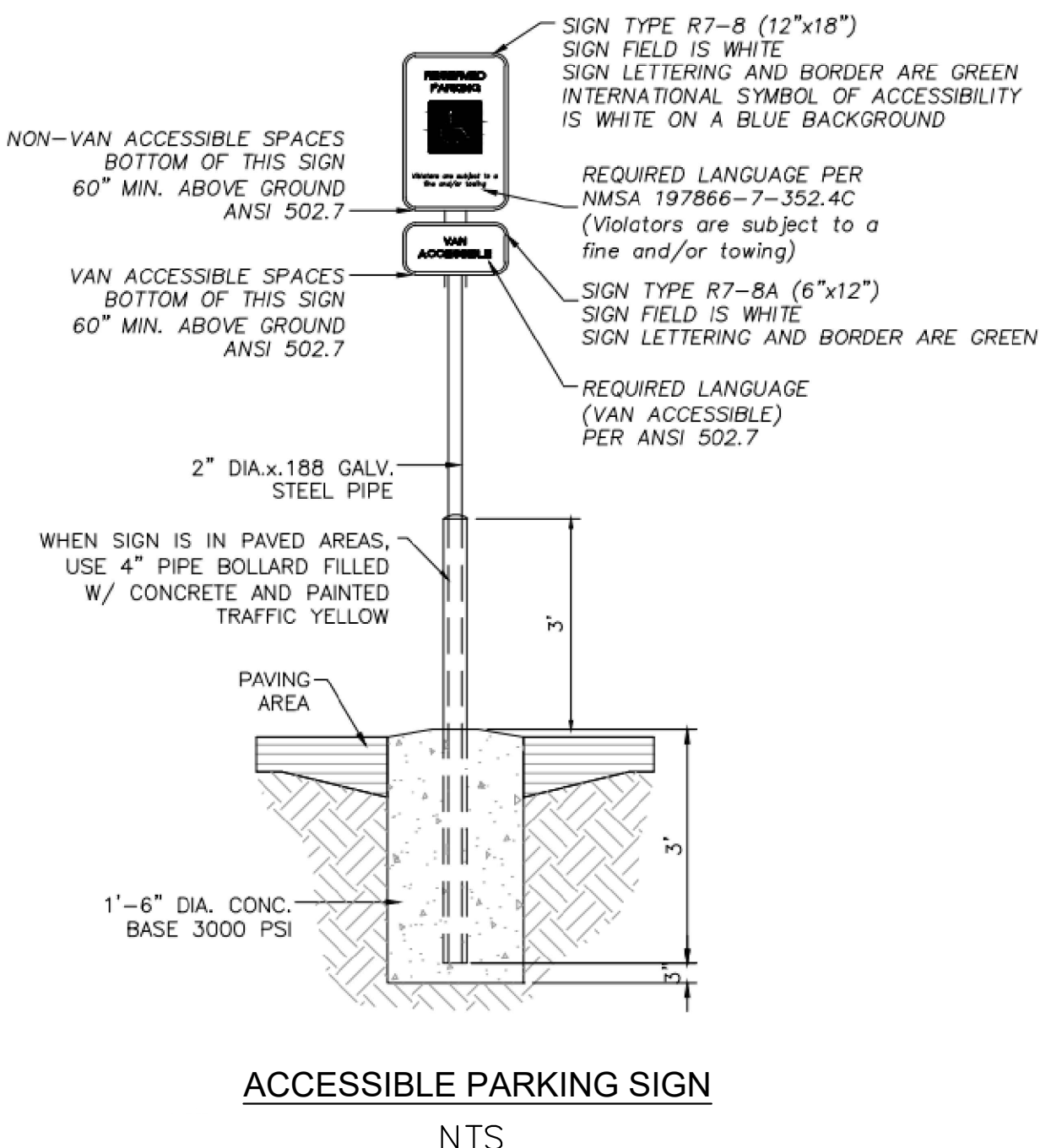
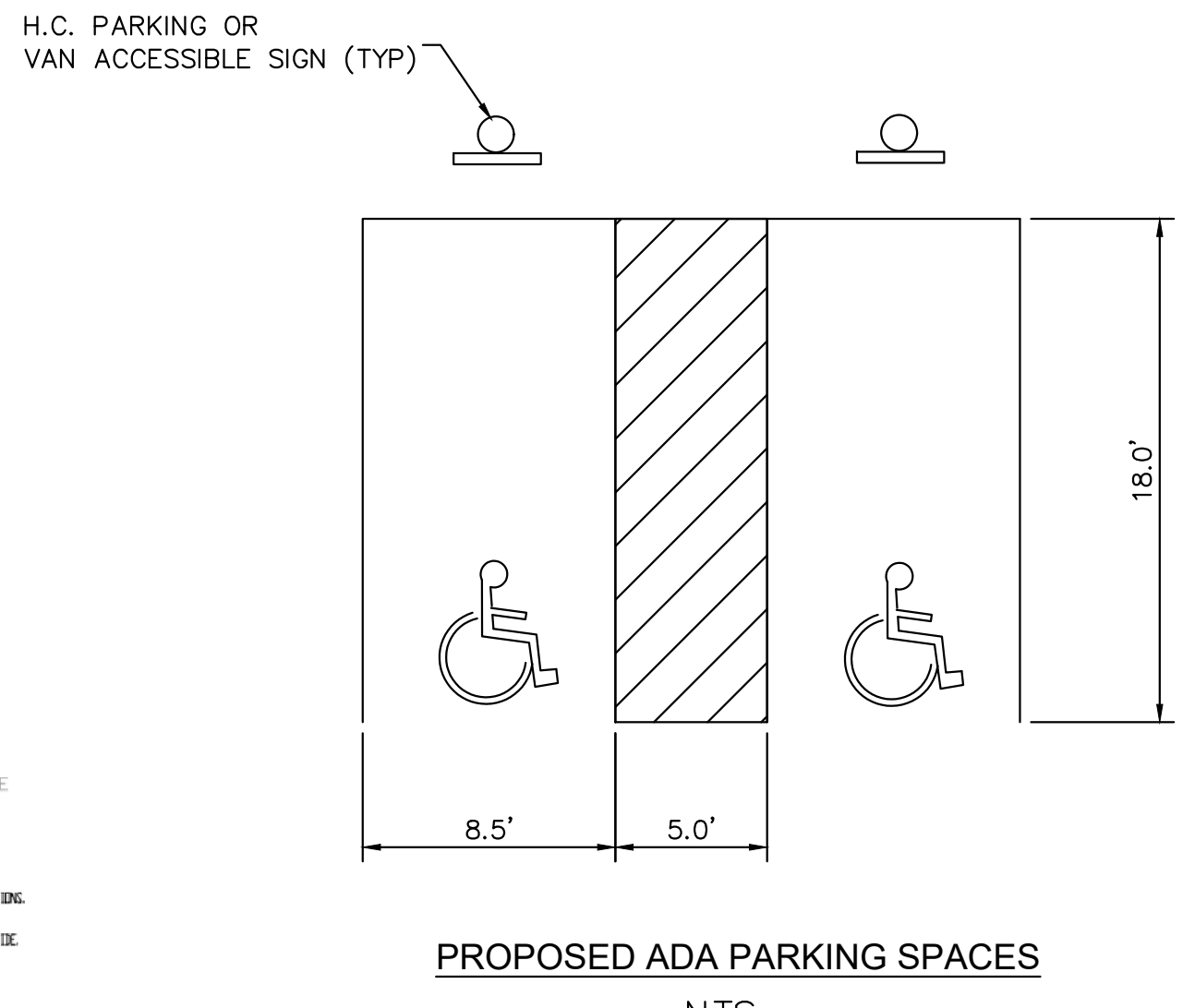
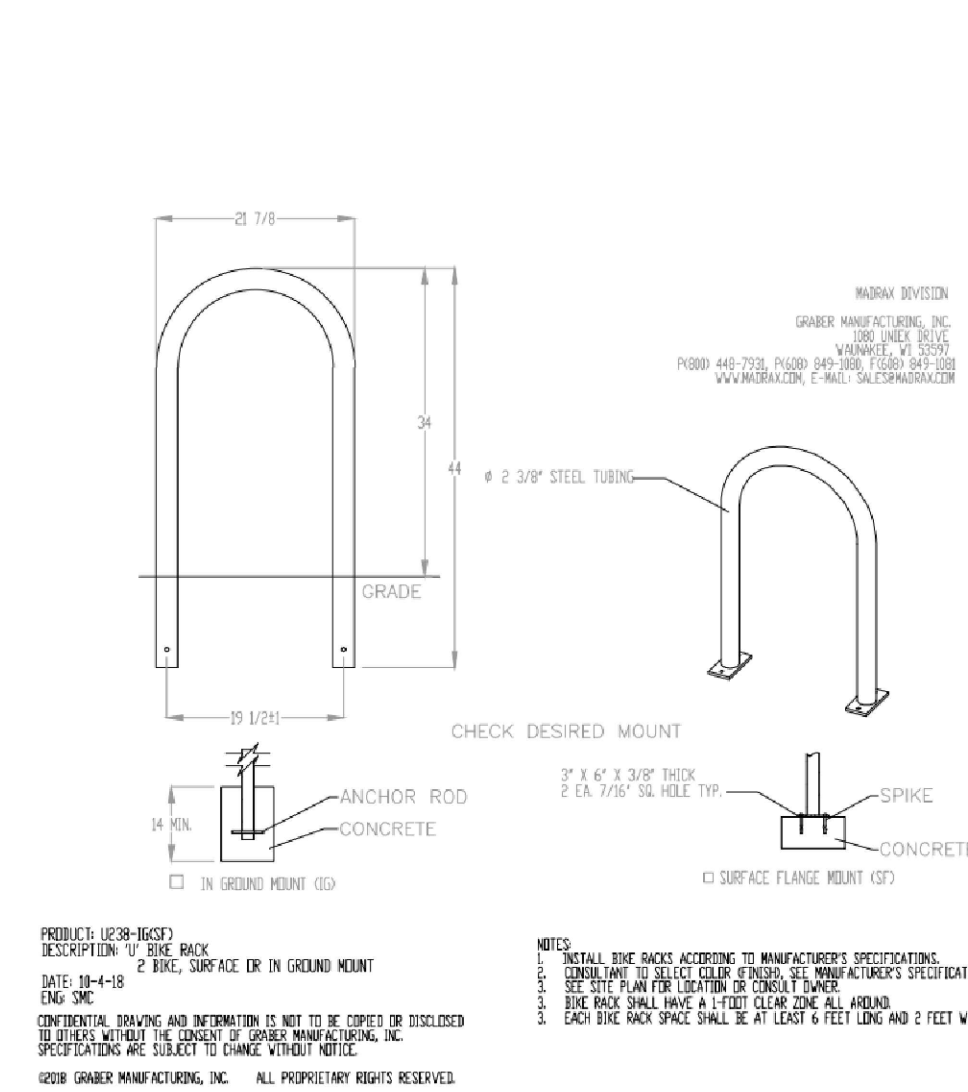
MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
 -93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE AND EXPANSION OF EXISTING PARKING LOT. IMPROVEMENT INCLUDE ADDITIONAL ONSITE PAVEMENT, BUILDING AREA, BICYCLE PARKING, SIDEWALK, STORMWATER DETENTION, UTILITIES, LANDSCAPE AREA, AND CONCRETE LOADING PADS

VICINITY MAP -
 ZONE ATLAS PAGES: K-10-Z & J-10-Z



<p>Kimley»Horn</p> <p>©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 300 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<p>DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 03/10/2023</p>	<p>LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>	<p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT SITE PLAN DETAILS</p>
	<p>PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION</p> <p>Kimley»Horn Kimley-Horn and Associates, Inc.</p>	<p>PROJECT NO. 096523009</p>	<p>SHEET 2</p>

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MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
-93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE AND EXPANSION OF EXISTING PARKING LOT. REVISED SITE DETAILS FOR LIGHTING, FENCING, ACCESS GATES, AND SIGNS



NO.	REVISION	BY	DATE	APPR

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6200 South Syracuse Way, Suite 500
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
DRAWN BY: MEJ
CHECKED BY: SAL
DATE: 03/10/2023

LEGAL DESCRIPTION:
TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

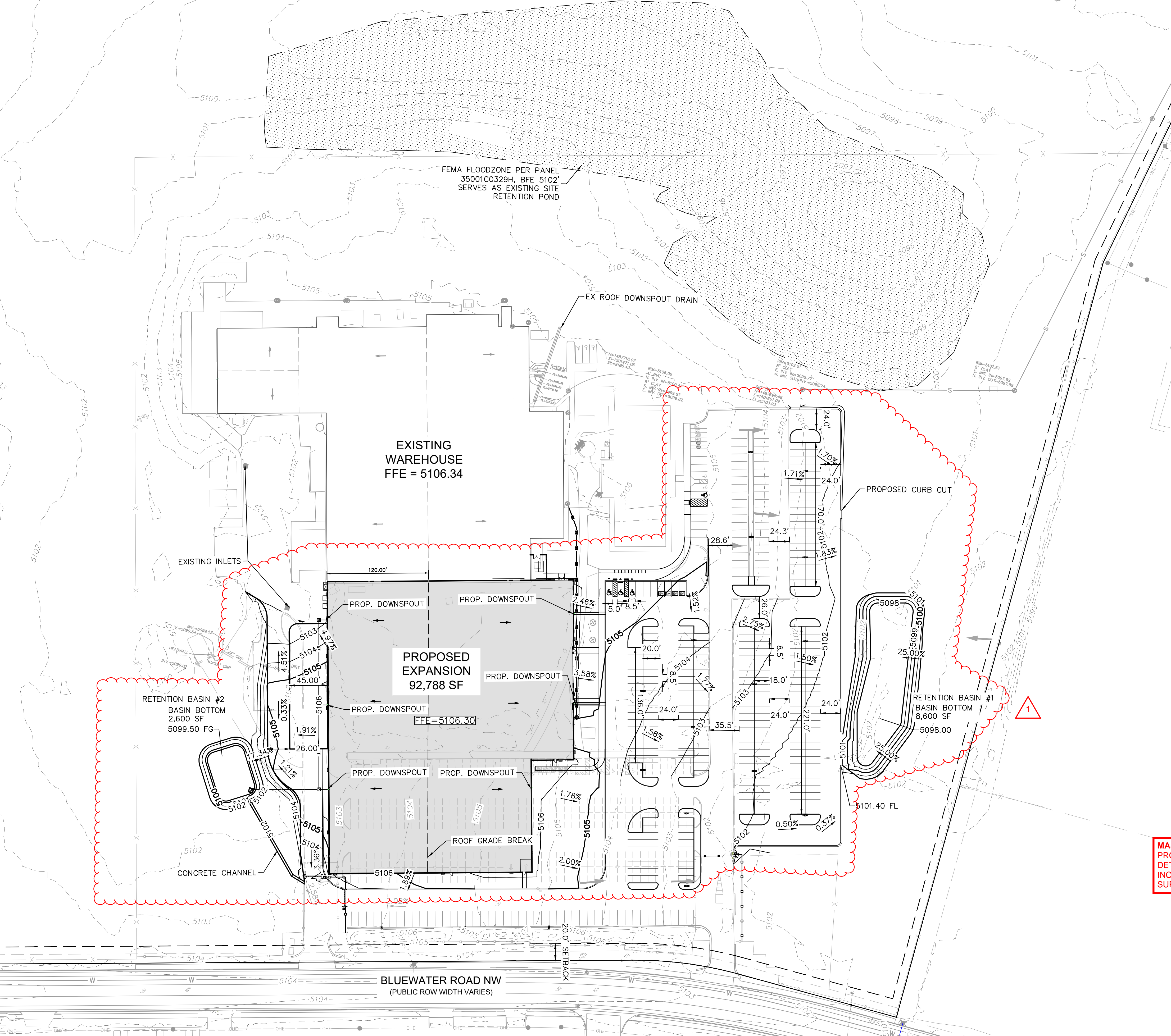
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
SITE PLAN DETAILS

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PROJECT NO.
096523009

SHEET
3

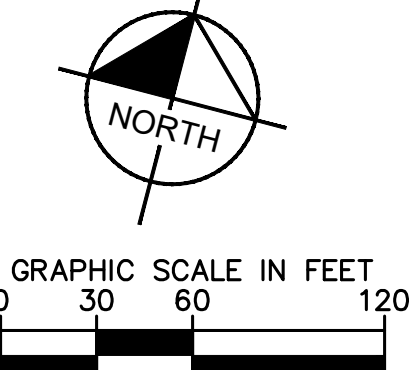
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- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT SECTION LINE
 - - - EX. UTILITY ESMT
 - - - EX. WROUGHT IRON FENCE
 - - - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
 - - - EX. SANITARY SEWER LINE
 - ⊗ EX. FLAGPOLE
 - - - EX. OVERHEAD ELECTRICAL
 - EX. STORM INLET
 - EX. SITE LIGHT
 - ↑ EX. SIGN
 - 6" PROP. 6" VERTICAL CURB
 - ▭ PROP. BUILDING
 - ▭ PROP. PAVEMENT
 - - - PROP. FIRE LANE
 - - - PROP. CONTOUR
 - - - 5747 EX. CONTOUR
 - X.XX% PROP. SLOPE ARROW
 - - - PROP. BUILDING SETBACK
 - EX. SLOPE ARROW

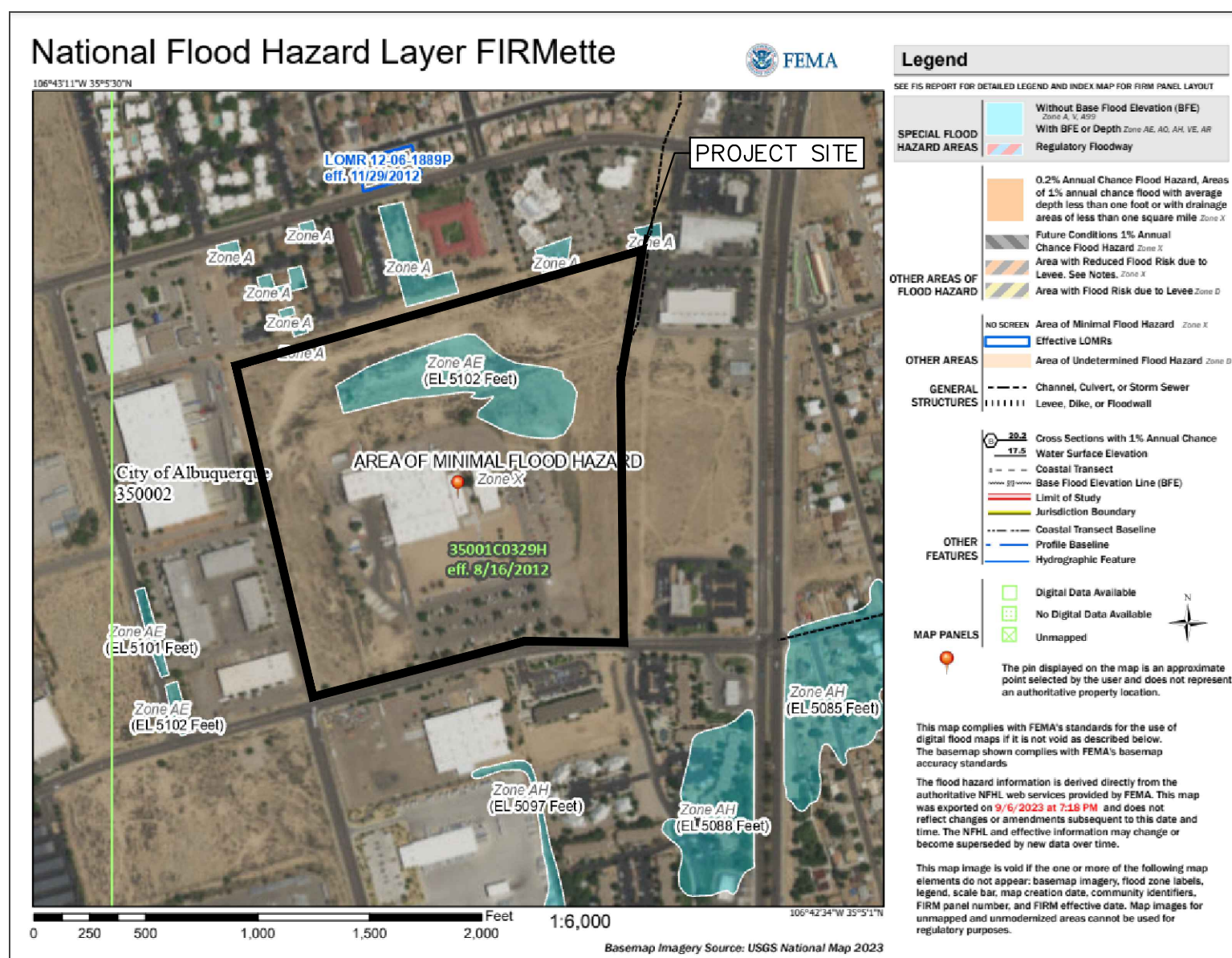
- GRADING LEGEND:**
- FL FLOWLINE
 - BOC BOTTOM OF CURB
 - FG FINISHED GRADE
 - EG EXISTING GRADE
 - FFE FINISHED FLOOR ELEVATION
 - EOP EDGE OF PAVEMENT
 - HP HIGH POINT
 - LP LOW POINT
 - SW SIDEWALK
 - CL CENTERLINE

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
PROPOSAL OF TWO NEW ONSITE DETENTION BASINS TO COLLECT AND DETAIN THE 100-YEAR 10-DAY VOLUME ASSOCIATED WITH THE NET INCREASE REQUIRED DETENTION VOLUME DUE TO THE NEW IMPERVIOUS SURFACES.



<h1 style="margin: 0;">Kimley»Horn</h1> <p style="font-size: 8px; margin: 0;">©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 500 Greenwood Village, Colorado 80111 (303) 228-2300</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 10%;">NO.</th> <th style="width: 10%;">REVISION</th> <th style="width: 10%;">BY</th> <th style="width: 10%;">DATE</th> <th style="width: 10%;">APPR</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	BY	DATE	APPR					
NO.	REVISION	BY	DATE	APPR							
<p>LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES</p>											
<p>ABB ABQ ADDITION 6625 BLUEWATER ROAD NW MAJOR AMENDMENT GRADING & DRAINAGE PLAN</p>											
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<p>PROJECT NO. 096523009</p> <p>SHEET 4</p>											

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FLOOD ZONE MAP
FIRM PANEL: 35001C0329H

DRAINAGE REPORT

SITE LOCATION

THE PROPOSED PROJECT IS LOCATED ON APPROXIMATELY A 37.97-ACRE SITE. THE SITE IS 800 FEET WEST FROM W COORD BLVD

EXISTING CONDITIONS

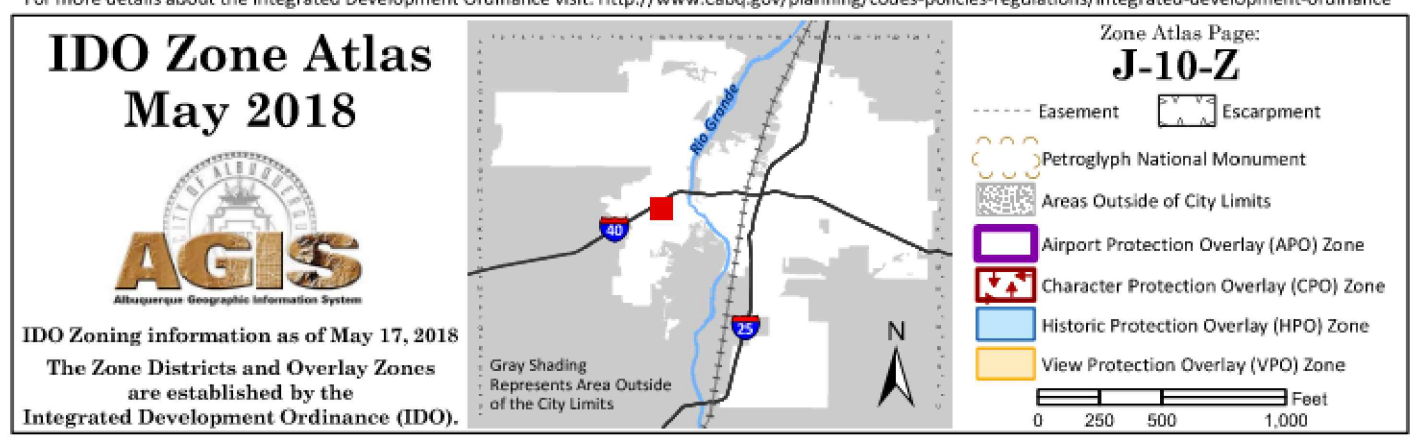
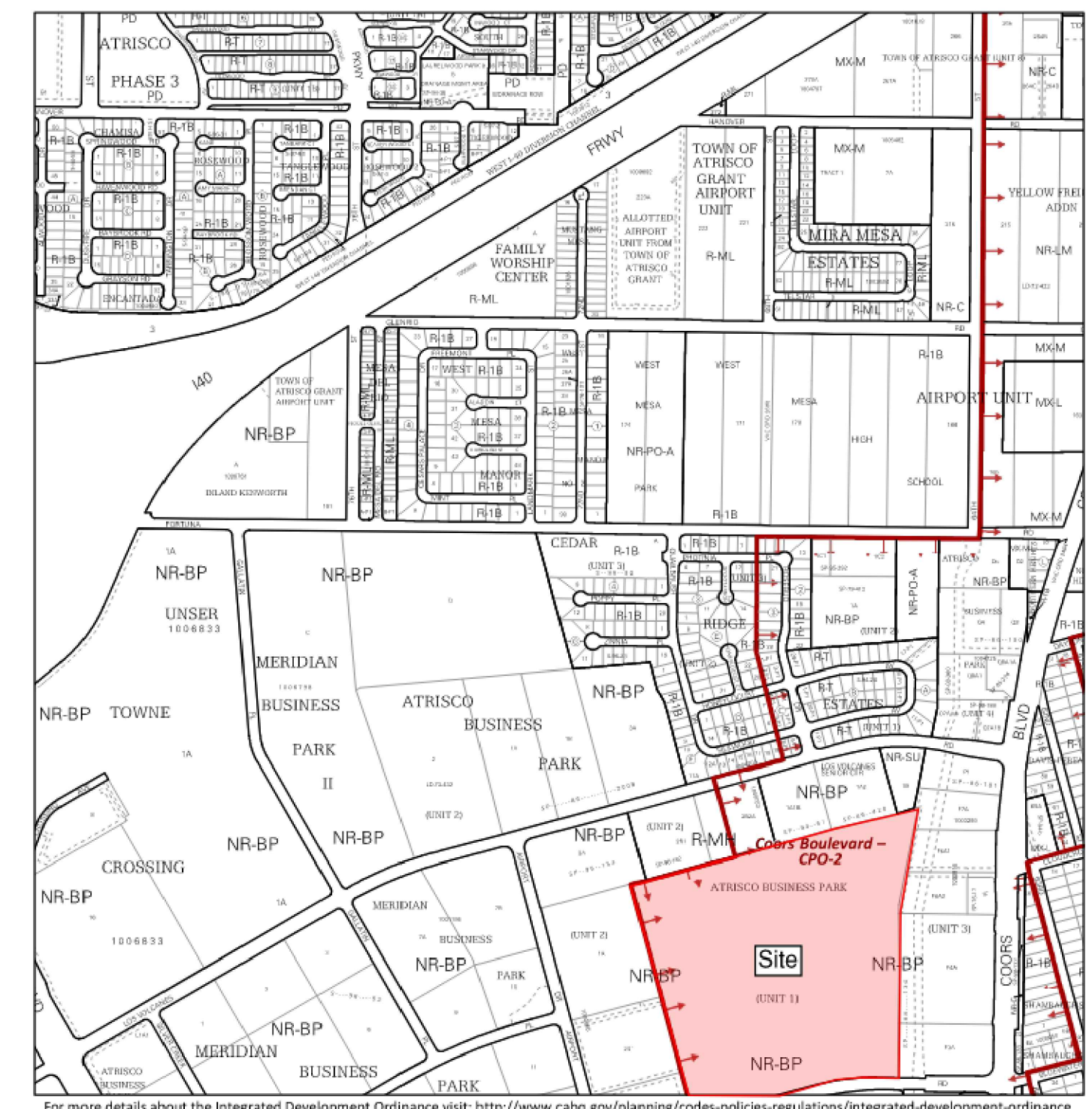
THE SITE IS PARTIALLY DEVELOPED WITH AN EXISTING APPROX. 90,000 GSF MANUFACTURING WAREHOUSE, ADMINISTRATIVE OFFICE, PAVED AND GRAVEL PARKING LOT, LANDSCAPED OPEN SPACE AND PATHWAYS. THERE IS AN EXISTING AE FLOODZONE ONSITE WITH A BFE OF 5102. SITE RUNOFF IS CURRENTLY CONVEYED TO THE EXISTING FLOODZONE WHERE IT SERVES AS A RETENTION BASIN. RUNOFF SURFACE FLOWS AND CONCENTRATED FLOWS TO THE RETENTION BASIN. THE EXISTING RETENTION BASIN AND FLOODZONE WILL REMAIN UNTOUCHED.

PROPOSED CONDITIONS

THE PROPOSED PROJECT WILL RESULT IN A NEW 90,000 GSF WAREHOUSE AND NEW PORTIONS OF PAVED PARKING. AREAS OF EXISTING PAVEMENT AND DEVELOPED LAWN AREA WILL BE REPLACED WITH THE NEW BUILDING FOOTPRINT. THE NEW PAVED PARKING AREAS WILL REPLACE LOCATIONS OF EXISTING LAWN AND GRAVEL SURFACES. THE PROJECT WILL PRODUCE A NET INCREASE OF IMPERVIOUS AREA ASSOCIATED WITH THE EXPANSION. RUNOFF WILL SHEET FLOW EAST OR WEST WHERE IT WILL FOLLOW HISTORIC DRAINAGE PATTERNS. TWO NEW WATER HARVESTING BASINS (RETENTION BASIN #1 AND #2) ARE PROPOSED TO DETAIN THE NET INCREASE OF REQUIRED 100-YEAR 10-DAY DETENTION VOLUME AS TO NOT INCREASE THE VOLUME OF WATER TRIBUTARY TO THE EXISTING RETENTION BASIN/FLOODZONE. FLOWS EXCEEDING THE NEW RETENTION POND STORAGE VOLUME WILL BYPASS THE BASIN AND CONTINUE TO THE EXISTING RETENTION POND. FLOWS WILL INFILTRATE INTO NATIVE SOILS PER THE 2020 DPM PERCOLATION RATES.

CONCLUSIONS

WHEN DEVELOPED AS INDICATED ON THE GRADING AND DRAINAGE PLAN, THE INCREASE RUNOFF FROM THE SITE IS ESTIMATED AT 4.04 CFS. THE NET INCREASE WILL RESULT IN APPROXIMATELY 0.67 CU FT OF RETENTION VOLUME FOR THE 100-YEAR 10-DAY VOLUME. BASIN #1 WILL PROVIDE VOLUME FOR 0.56 AC-FT OF 100-YEAR 10-DAY STORAGE, AND BASIN #2 WILL PROVIDE 0.11 AC-FT OF STORAGE. BASIN BOTTOM SURFACE AREAS ARE DESIGNED SUCH THAT FLOWS WILL INFILTRATE IN THE 96 HOUR DRAIN TIME.



ZONING MAP
J-10-Z

HYDROLOGY CALCULATIONS

BASIN #1	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	1.49	1.18	0.88	1.18	2.03	0.48	10.26
Proposed Conditions	0	0.5	0	3.05	3.05	1.18	1.04	13.65
DELTA							0.56	3.39

BASIN #2	Land Treatment (Table 6.2.13)				Total Acreage (ac)	Ew (in)	V(100-10day) ac-ft	Q(100) cfs
	A	B	C	D				
Existing Conditions	0	0.73	0	1.00	1.73	1.96	0.38	5.85
Proposed Conditions	0	0.32	0	1.41	1.73	1.60	0.49	6.50
DELTA							0.11	0.65

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cfs	Percolation Rate inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#1	24,394	0.83	8,600	42	96 Hour Max Meets Required Drain Time

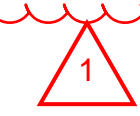
Pond Volume 0.56 ac-ft

Pond	Retention Pond Drain Time				Drain Time Check
	Volume cfs	Percolation Rate inches/hr	Pond Bottom Sq. Ft.	Drain Time hr	
#2	4,792	0.83	2,600	27	96 Hour Max Meets Required Drain Time

Pond Volume 0.11 ac-ft

input cells

*Percolation rate per Table 6.2.12 of the 2020 DPM



MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023). PROPOSAL OF TWO NEW ONSITE DETENTION BASINS TO COLLECT AND DETAIN THE 100-YEAR 10-DAY VOLUME ASSOCIATED WITH THE NET INCREASE REQUIRED DETENTION VOLUME DUE TO THE NEW IMPERVIOUS SURFACES.



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DRAWN BY: MEJ
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DATE: 03/10/2023

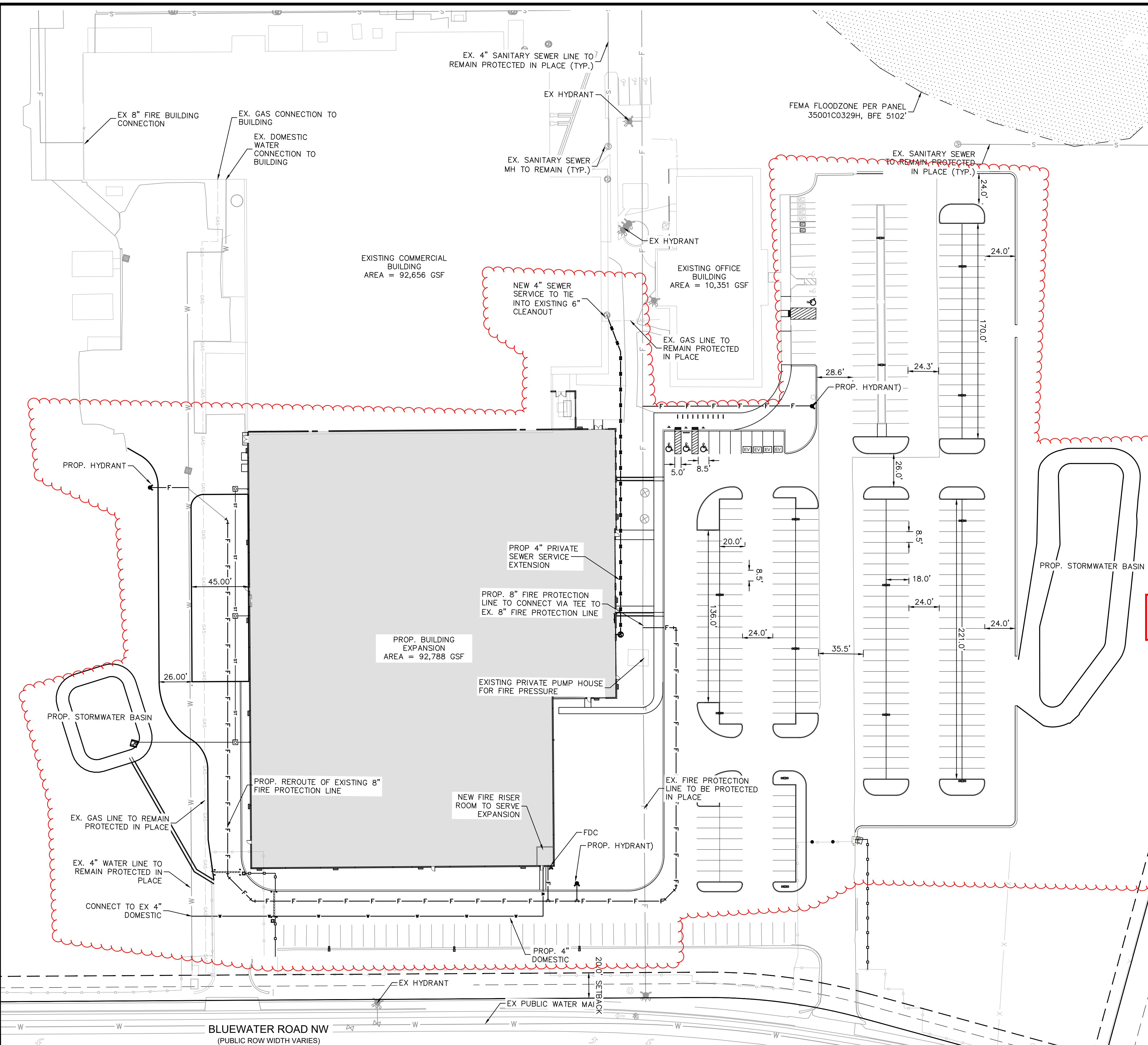
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TRACT A ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
HYDROLOGY DATA

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PROJECT NO. 096523009
SHEET 5

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LEGEND:

- PROPERTY LINE
- - - ADJACENT SECTION LINE
- - - EX. UTILITY ESMT
- - - EX. WROUGHT IRON FENCE
- - - EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊙ EX. SANITARY SEWER MANHOLE/CLEANOUT
- - - EX. SANITARY SEWER LINE
- ⊗ EX. FLAGPOLE
- - - EX. OVERHEAD ELECTRICAL
- - - EX. GAS LINE
- EX. STORM INLET
- ☆ EX. SITE LIGHT
- - - EX. SIGN
- PROP. 6" VERTICAL CURB
- ▭ PROP. BUILDING
- - - PROP. FIRE LANE
- - - EX. WATER LINE
- - - EX. FIRE PROTECTION LINE
- - - PROP. FIRE HYDRANT
- - - PROP. DOMESTIC LINE
- - - PROP. PRIVATE SEWER SERVICE
- - - PROP. PRIVATE FIRE LINE
- - - PROP. BUILDING SETBACK

UTILITY GENERAL NOTES:

1. ALL EXISTING UNDERGROUND UTILITIES TO REMAIN PROTECTED IN PLACE DURING CONSTRUCTION.
2. FIRE WATER LINE TO BE REROUTED AROUND THE PROPOSED BUILDING.

**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
INSTALLATION OF NEW SEWER SERVICE LINE, WATER SERVICE LINE, FIRE SUPPRESSION (ONSITE HYDRANT, FIRELINE TO EXPANSIONS NEW RISER ROOM, INTERIOR SPRINKLER SYSTEM, AND NEW FDC)**

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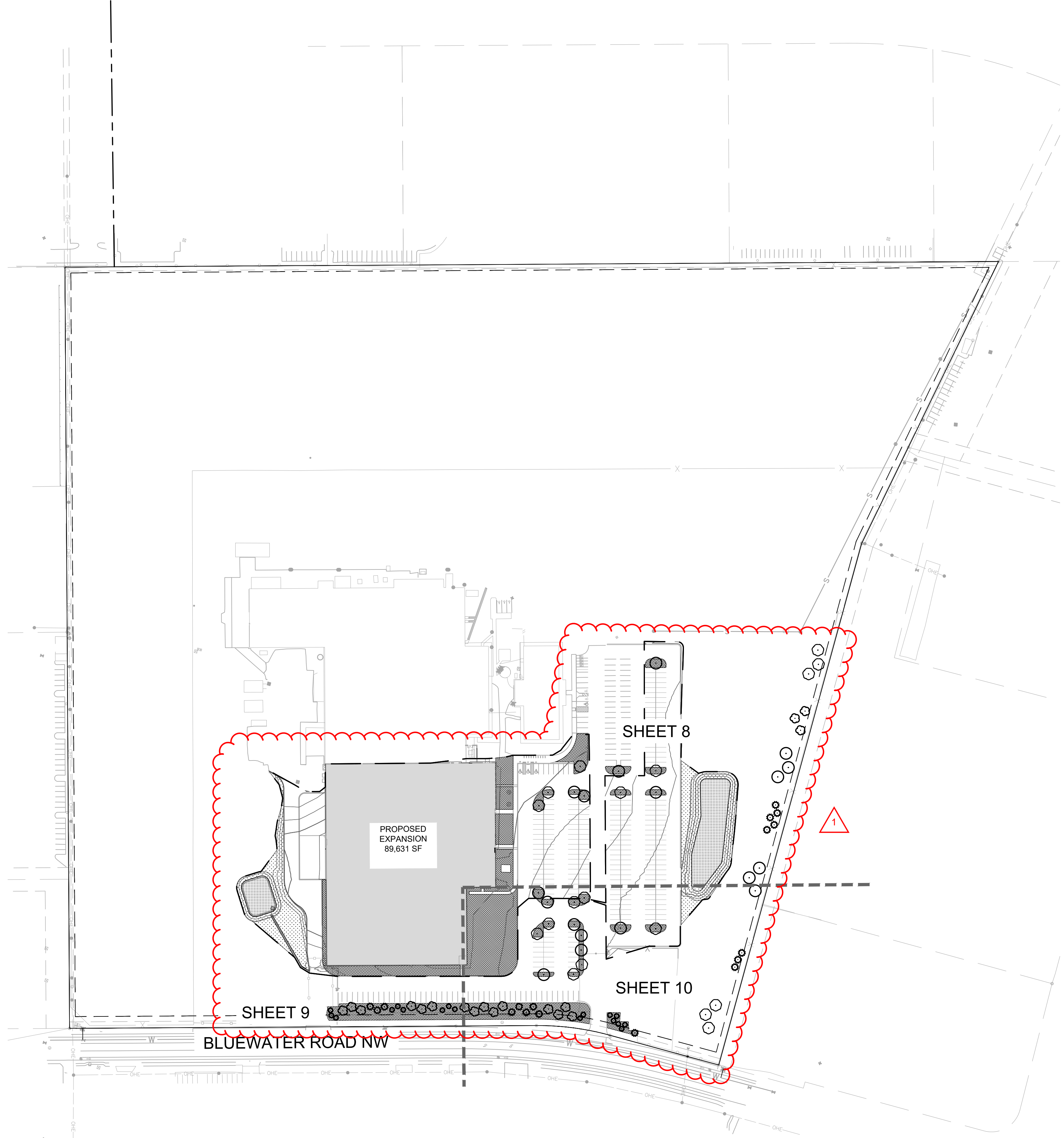
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
DETAILED UTILITY PLAN

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PROJECT NO.
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1 MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
 ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
 LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND
 SOUTHERN PROPERTY LINES

PLANT SCHEDULE LANDSCAPE AREA

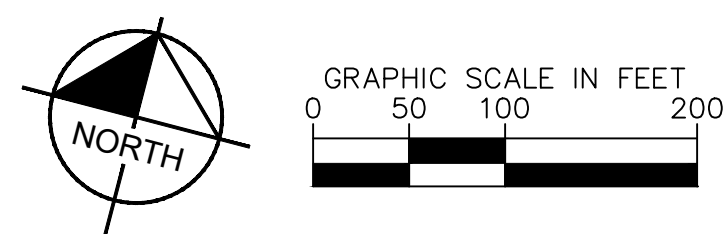
DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME
	CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY
	GS	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST
	SD	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME
	JS	JUNIPERUS MONOSPERMA	ONESEED JUNIPER
	PN	PINUS NIGRA	AUSTRIAN PINE
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETENTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX

SEE SHEET 12 FOR COMPLETE PLANT SCHEDULE

EXISTING GOVERNING SITE PLAN PLANTING SCHEDULE

		spacing		mature size		emitters (number & size)	
		height	spread	young	mature	young	mature
	A	ARIZONA SYCAMORE (Platanus wrightii)	40'-80'	30'-60'	(3) 2 gal.	(6) 2 gal.	
	B	HONEY LOCUST (Gleditsia triacanthos)	50'	30'-40'	(3) 2 gal.	(6) 2 gal.	
	C	LIMBER PINE (Pinus flexilis)	25'	15'	(3) 2 gal.	(4) 2 gal.	
	D	RUSSIAN OLIVE (Elaeagnus angustifolia)	25'	15'	(3) 2 gal.	(4) 2 gal.	(NOT USED)
	E	DESERT WILLOW (Chilopsis linearis)	25'	15'	(3) 2 gal.	(4) 2 gal.	
	F	CHAMISA (Chrysothamnus nauseosus)	5'	5'	(1) 1/2 gal.	(1) 1/2 gal.	
	G	THREE-LEAF SUMAC (Rhus trilobata)	4'	4'	(1) 1 gal.	(1) 1 gal.	
	H	RED BARBERRY (Berberis thunbergii 'Atropurpurea')	3'	4'	(1) 1 gal.	(1) 1 gal.	
	I	JUNIPER, CALGARY CARPET (Juniperus sibirica 'Calgary Carpet')	7'	9'	(1) 1 gal.	(1) 1 gal.	
	J	HALLS HONEYSUCKLE (Lonicera japonica 'halliana')	8'	1'-3'	(1) 1 gal.	(1) 1 gal.	

MINIMUM PLANT SIZES: TREES - 2" caliper or 10'-12', SHRUBS AND VINES - 5 gal.
 GRAVEL: 3/4" crushed gravel, 2" deep, Santa Fe brown
 FILTER FABRIC: DuPont "Typer" spunbonded polypropylene
 IRRIGATION SYSTEM: Landscape Contractor shall submit a drip irrigation plan for approval by Architect. Include electric valves and electronic timer. Provide necessary connections to existing water and electric.
 All plants and irrigation system shall be guaranteed for (1) year. Any plants not surviving (1) year shall be replaced at Contractors expense.



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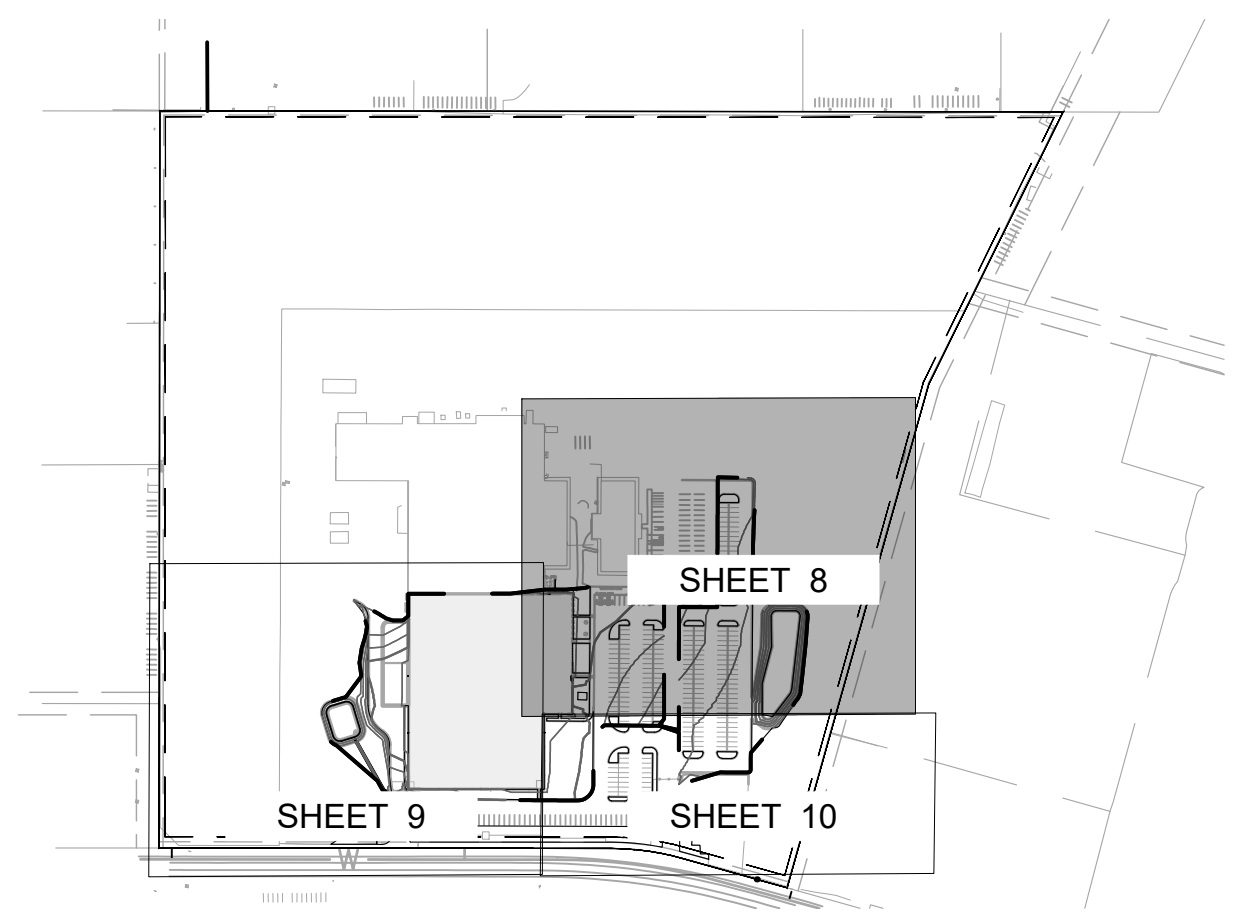
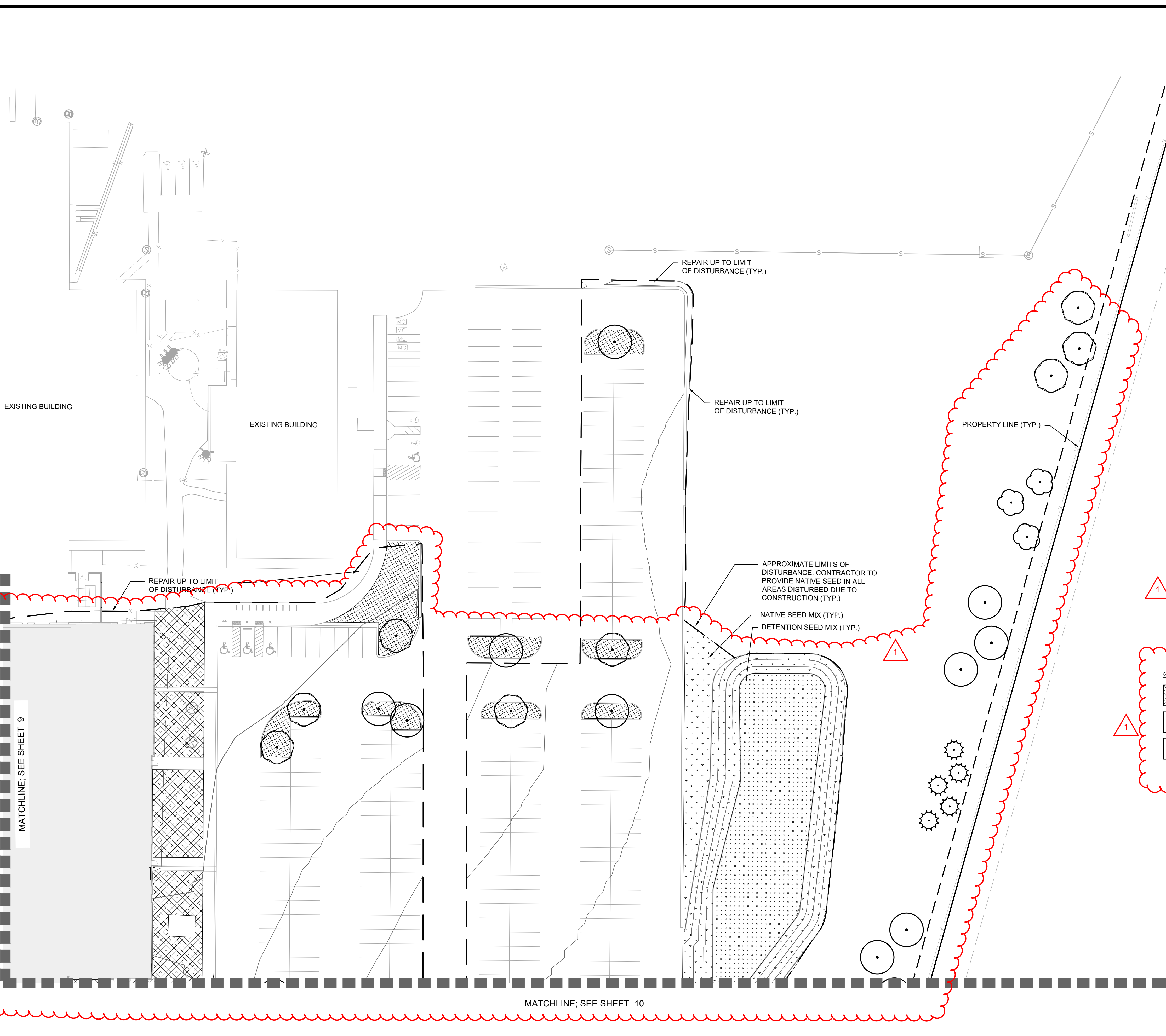
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 MAJOR AMENDMENT
 OVERALL LANDSCAPE PLAN

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PROJECT NO.
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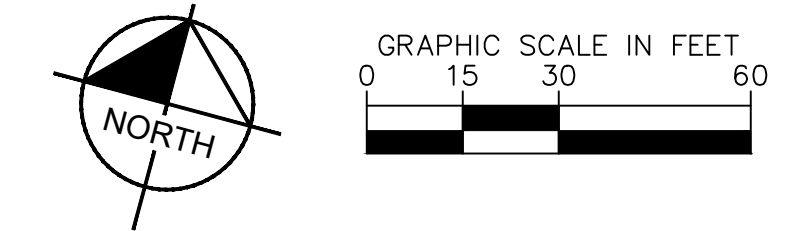


KEY MAP
N.T.S.

**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW
LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND
SOUTHERN PROPERTY LINES**

GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME
	RM	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH
	XA	APPLEWOOD SEED MIX	DETENTION SEED MIX
	XL	NATIVE SEED MIX	NATIVE SEED MIX

SEE SHEET 12 FOR COMPLETE PLANT SCHEDULE



- CONSTRUCTION BID NOTES:**
- ALL PLANT SPECIFICATIONS IN THE PLANT SCHEDULE SHALL BE CONSIDERED THE MINIMUM ALLOWABLE SPECIFICATIONS. CONTRACTOR SHALL PROCURE PLANT MATERIALS AND UPSIZE AS NECESSARY TO MEET THE MOST STRINGENT SPECIFICATION.
 - LANDSCAPE ARCHITECT RESERVES THE RIGHT TO FIELD ADJUST ALL PLANT MATERIAL.
 - ALL QUANTITIES PROVIDED FOR CONVENIENCE ONLY. CONTRACTOR SHALL CONFIRM ALL QUANTITIES PER PLAN PRIOR TO BIDDING AND CONSTRUCTION. PLANS TAKE PRECEDENT OVER PLANT SCHEDULE FOR PLANT QUANTITY COUNT.

- LANDSCAPE NOTES:**
- TREE CANOPIES AND GROUND-LEVEL PLANS SHALL COVER A MINIMUM OF 75 PERCENT OF THE TOTAL LANDSCAPE AREA AS MEASURED BY CANOPY WIDTH OR THE AREA BENEATH THE DRIPLINE OF THE MATURE SIZE OF THE ACTUAL VEGETATION.
 - NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPE AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS.
 - THE USE OF GRAVEL OR CRUSHER FINES AS GROUND COVER IS LIMITED TO A MAXIMUM OF 75 PERCENT OF ANY LANDSCAPED AREA.
 - VEGETATION REQUIRED BY THIS SECTION 14-16-5-6 SHALL BE LOCATED AT LEAST 3 FEET IN ANY DIRECTION FROM ANY FIRE HYDRANTS, VALVE VAULTS, HOSE BIBS, MANHOLES, HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS.
 - TREES SHALL NOT BE PLANTED WITHIN 10 FEET IN ANY DIRECTION OF THE CENTERLINE OF A SEWER OR WATER LINE.
 - IRRIGATION WILL BE PROPOSED FOR THIS SITE AT THE CD PLAN LEVEL.

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Greenwood Village, Colorado 80111 (303) 228-2300

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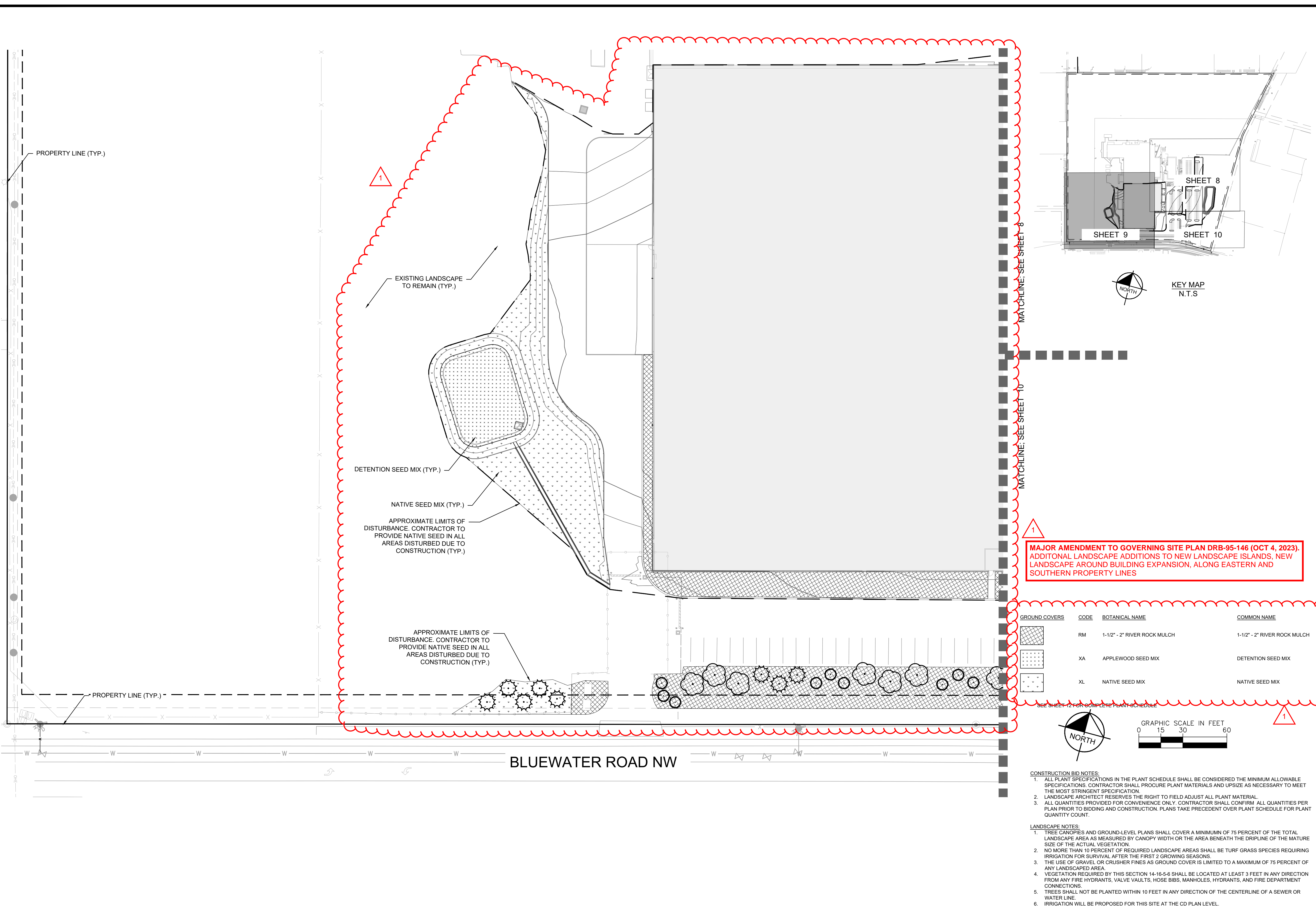
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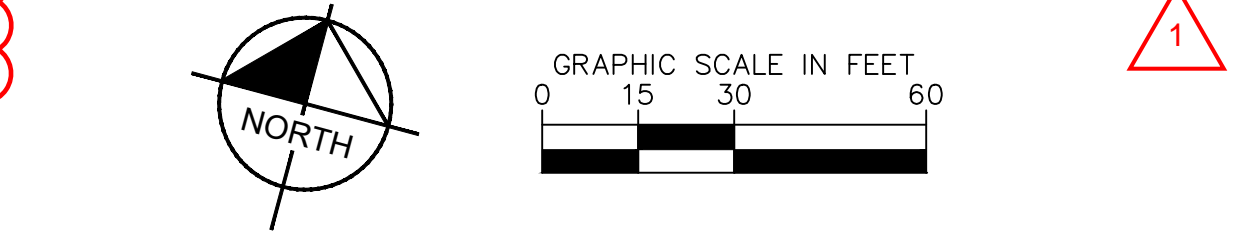
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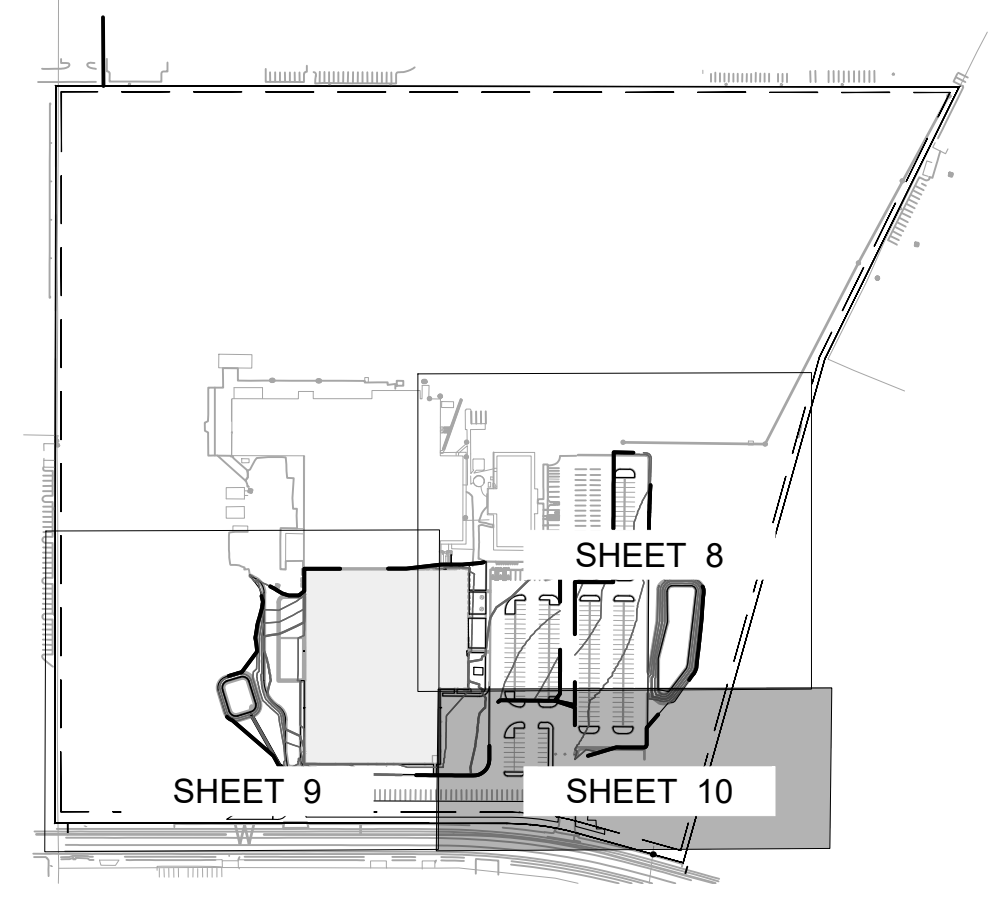
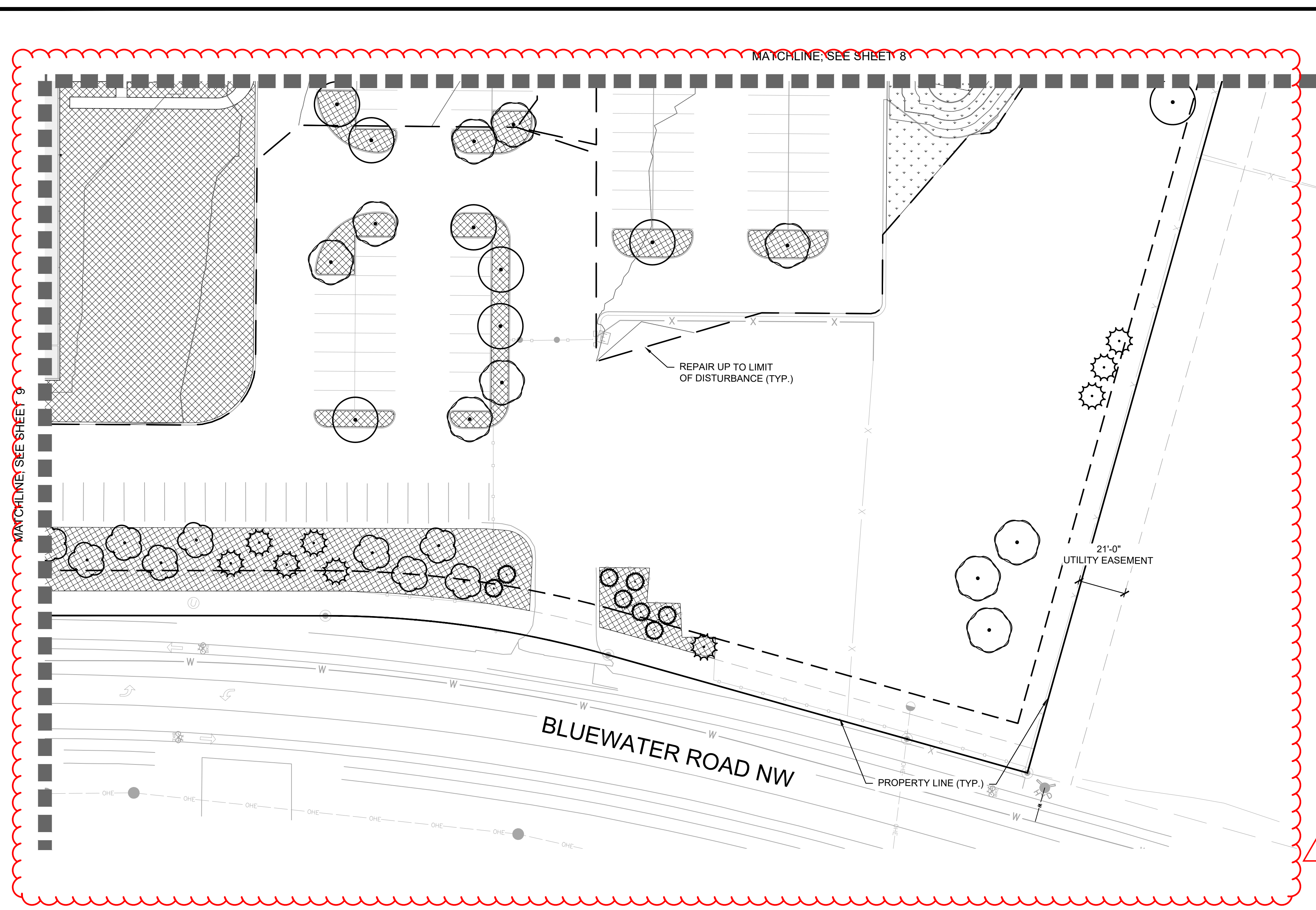
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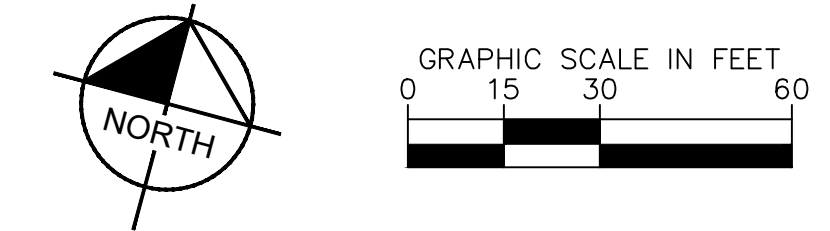


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GENERAL LANDSCAPE SPECIFICATIONS

A. SCOPE OF WORK

- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
- WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.

B. PROTECTION OF EXISTING STRUCTURES

- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGHOUT THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE, PRIOR TO EXCAVATION. THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION, THE SAFETY AND PROTECTION THEREOF, REPAIRING ANY DAMAGE THERETO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

C. PROTECTION OF EXISTING PLANT MATERIALS

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC.. THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
- SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.

D. MATERIALS

1. GENERAL

MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER, UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)

2. PLANT MATERIALS

- FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
- TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
- PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER, FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS. LATENT DEFECTS OR INJURIES, REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
- TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR BETWEEN BRANCH AND TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ½ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
- FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
- LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
- IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.

E. SOIL MIXTURE

- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW:
- SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- TOPSOIL FOR USE IN PREPARING SOIL MIXTURE FOR BACKFILLING PLANT OPENINGS SHALL BE FERTILE, FRIABLE, AND OF A LOAMY CHARACTER, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH WEEDS, OTHER LITTER, FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIRECTION, AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. IT SHALL CONTAIN THREE (3) TO FIVE (5) PERCENT DECOMPOSED ORGANIC MATTER. HAVE A PH BETWEEN 5.5 AND 8.0, AND SOLUBLE SALTS LESS THAN 3.0 MMHOS/CM. SUBMIT SOIL SAMPLE AND PH TESTING RESULTS FOR APPROVAL.
- SAND SHALL BE COARSE, CLEAN, WELL-DRAINING, NATIVE SAND.
- TREES SHALL BE PLANTED IN THE EXISTING NATIVE SOIL ON SITE, UNLESS DETERMINED TO BE UNSUITABLE - AT WHICH POINT THE CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT TO DISCUSS ALTERNATE RECOMMENDATION PRIOR TO PLANTING.

F. WATER

- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC., IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.

* WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

G. FERTILIZER

- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.

* FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.

H. MULCH

- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES. CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. UNLESS OTHERWISE NOTED ON PLANS, MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH DARK BROWN FINES BY MOUNTAIN HIGH SAWTREE OR APPROVED EQUAL. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.

I. DIGGING AND HANDLING

- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
- PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILT PRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
- B&B, AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.

J. CONTAINER GROWN STOCK

- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
- ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.

K. MATERIALS LIST

- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.

L. FINE GRADING

- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN UNDISTURBED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
- ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS, AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEERS PLANS FOR FINAL GRADES, IF APPLICABLE.

M. PLANTING PROCEDURES

- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
- VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTING AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
- FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
- COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON SITE SHALL NOT REMAIN UNPLANTED OR INAPPROPRIATELY HEATED IN FOR A PERIOD EXCEEDING TWENTY-FOUR (24) HOURS, AT ALL TIMES WORKMANLIKE METHODS CUSTOMARY IN ACCEPTED HORTICULTURAL PRACTICES AS USED IN THE TRADE SHALL BE EXERCISED.
- WORK SHALL BE COORDINATED WITH OTHER TRADES TO PREVENT CONFLICTS. COORDINATE PLANTING WITH IRRIGATION WORK TO ASSURE AVAILABILITY OF WATER AND PROPER LOCATION OF IRRIGATION APPURTENANCES AND PLANTS.
- ALL PLANTING OPENINGS SHALL BE EXCAVATED TO SIZE AND DEPTH IN ACCORDANCE WITH ANSI Z60.1-2014 AMERICAN STANDARD FOR NURSERY STOCK.
- TEST ALL TREE OPENINGS WITH WATER BEFORE PLANTING TO ASSURE PROPER DRAINAGE PERCOLATION IS AVAILABLE. NO ALLOWANCE WILL BE MADE FOR LOST PLANTS DUE TO IMPROPER DRAINAGE. IF POOR DRAINAGE EXISTS, UTILIZE "POOR DRAINAGE CONDITION" PLANTING DETAIL.
- TREES SHALL BE SET PLUMB AND HELD IN POSITION UNTIL THE PLANTING MIXTURE HAS BEEN FLUSHED INTO PLACE WITH A SLOW, FULL HOSE STREAM. ALL PLANTING SHALL BE PERFORMED BY PERSONNEL FAMILIAR WITH PLANTING PROCEDURES AND UNDER THE SUPERVISION OF A QUALIFIED LANDSCAPE FOREMAN.
- PRIOR TO EXCAVATION OF TREE OPENINGS, AN AREA EQUAL TO TWO TIMES THE DIAMETER OF THE ROOT BALL SHALL BE ROTO-TILLED TO A DEPTH EQUAL TO THE DEPTH OF THE ROOT BALL.
- EXCAVATION OF TREE OPENINGS SHALL BE PERFORMED USING EXTREME CARE TO AVOID DAMAGE TO SURFACE AND SUBSURFACE ELEMENTS SUCH AS UTILITIES OR HARDSCAPE ELEMENTS, FOOTERS AND PREPARED SUB-BASES.
- IN CONTINUOUS SHRUB AND GROUND COVER BEDS, THE ROTO-TILLED PERIMETER SHOULD EXTEND TO A DISTANCE OF ONE FOOT BEYOND THE DIAMETER OF A SINGLE ROOT BALL. THE BED SHALL BE TILLED TO A DEPTH EQUAL TO THE ROOT BALL DEPTH PLUS 6".
- TREE OPENINGS FOR WELL DRAINED SOILS SHALL BE DUG SO THAT THE BOTTOM OF THE ROOT BALL WILL REST ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL WILL BE FLUSH WITH FINISH GRADE. IN POORLY DRAINED SOILS THE TREE OPENING SHALL BE DUG SO THAT THE ROOT BALL RESTS ON UNDISTURBED SOIL AND THE TOP OF THE ROOT BALL IS 1" ABOVE FINISH GRADE. PLANT PIT WALLS SHALL BE SCARIFIED PRIOR TO PLANT INSTALLATION.
- TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO BUILDINGS AND BUILDING STRUCTURES WHILE INSTALLING TREES.
- SOIL MIXTURE SHALL BE AS SPECIFIED IN SECTION 'E'.
- TREES AND SHRUBS SHALL BE SET STRAIGHT AT AN ELEVATION THAT, AFTER SETTLEMENT, THE PLANT CROWN WILL STAND ONE (1) TO TWO (2) INCHES ABOVE GRADE. EACH PLANT SHALL BE SET IN THE CENTER OF THE PIT. SOIL MIXTURE SHALL BE BACK FILLED, THOROUGHLY TAMPED AROUND THE BALL, AND SETTLED BY WATER (AFTER TAMPING).
- AMEND PINE AND OAK PLANT OPENINGS WITH ECTOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURERS RECOMMENDATION. ALL OTHER PLANT OPENINGS SHALL BE AMENDED WITH ENDOMYCORRHIZAL SOIL APPLICATION PER MANUFACTURERS RECOMMENDATION. PROVIDE PRODUCT INFORMATION SUBMITTAL PRIOR TO INOCULATION.

- FILL HOLE WITH SOIL MIXTURE, MAKING CERTAIN ALL SOIL IS SATURATED. TO DO THIS, FILL HOLE WITH WATER AND ALLOW TO SOAK MINIMUM TWENTY (20) MINUTES, STIRRING IF NECESSARY TO GET SOIL THOROUGHLY WET. PACK LIGHTLY WITH FEET, ADD MORE WET SOIL MIXTURE. DO NOT COVER TOP OF BALL WITH SOIL MIXTURE.

- ALL BURLAP, ROPE, WIRES, BASKETS, ETC., SHALL BE REMOVED FROM THE SIDES AND TOPS OF BALLS, BUT NO BURLAP SHALL BE PULLED FROM UNDERNEATH.

- TREES SHALL BE PRUNED, IN ACCORDANCE WITH ANSI A-300, TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL SOFT WOOD OR SUCKER GROWTH AND ALL BROKEN OR BADLY DAMAGED BRANCHES SHALL BE REMOVED WITH A CLEAN CUT. ALL PRUNING TO BE PERFORMED BY CERTIFIED ARBORIST.

- SHRUBS AND GROUND COVER PLANTS SHALL BE EVENLY SPACED IN ACCORDANCE WITH THE DRAWINGS AND AS INDICATED ON THE PLANT LIST. MATERIALS INSTALLED SHALL MEET MINIMUM SPECIFICATION REQUIREMENTS OR QUANTITIES SHOWN ON PLANS, WHICHEVER IS GREATER. CULTIVATE ALL PLANTING AREAS TO A MINIMUM DEPTH OF 6". REMOVE AND DISPOSE ALL DEBRIS. MIX TOP 4" THE PLANTING SOIL MIXTURE AS SPECIFIED IN SECTION E. THOROUGHLY WATER ALL PLANTS AFTER INSTALLATION.

- TREE GUYING AND BRACING SHALL BE INSTALLED BY THE CONTRACTOR IN ACCORDANCE WITH THE PLANS TO INSURE STABILITY AND MAINTAIN TREES IN AN UPRIGHT POSITION. IF THE CONTRACTOR AND OWNER DECIDE TO WAIVE THE TREE GUYING AND BRACING, THE OWNER SHALL NOTIFY THE PROJECT LANDSCAPE ARCHITECT IN WRITING AND AGREE TO INDEMNIFY AND HOLD HARMLESS THE PROJECT LANDSCAPE ARCHITECT IN THE EVENT UNSUPPORTED TREES PLANTED UNDER THIS CONTRACT FALL AND DAMAGE PERSON OR PROPERTY.

- ALL PLANT BEDS SHALL BE KEPT FREE OF NOXIOUS WEEDS UNTIL FINAL ACCEPTANCE OF WORK. IF DIRECTED BY THE OWNER, "ROUND-UP" SHALL BE APPLIED FOR WEED CONTROL BY QUALIFIED PERSONNEL TO ALL PLANTING AREAS IN SPOT APPLICATIONS PER MANUFACTURERS RECOMMENDATIONS. PRIOR TO FINAL INSPECTION, TREAT ALL PLANTING BEDS WITH AN APPROVED PRE-EMERGENT HERBICIDE AT AN APPLICATION RATE RECOMMENDED BY THE MANUFACTURER, (AS ALLOWED BY JURISDICTIONAL AUTHORITY)

N. LAWN SODDING

- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
- ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
- PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
- SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS, PAVED AND PLANTED AREAS. ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED, IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.

- DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.

6. LAWN MAINTENANCE

- WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADING IF NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.

O. EDGING

- CONTRACTOR SHALL INSTALL 4"x8" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.

P. CLEANUP

- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.

Q. PLANT MATERIAL MAINTENANCE

- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.

R. FINAL INSPECTION AND ACCEPTANCE OF WORK

- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.

S. WARRANTY

- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.

- IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.



MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023). ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND SOUTHERN PROPERTY LINES



NO.	REVISION	BY	DATE	APPR.

Kimley»Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

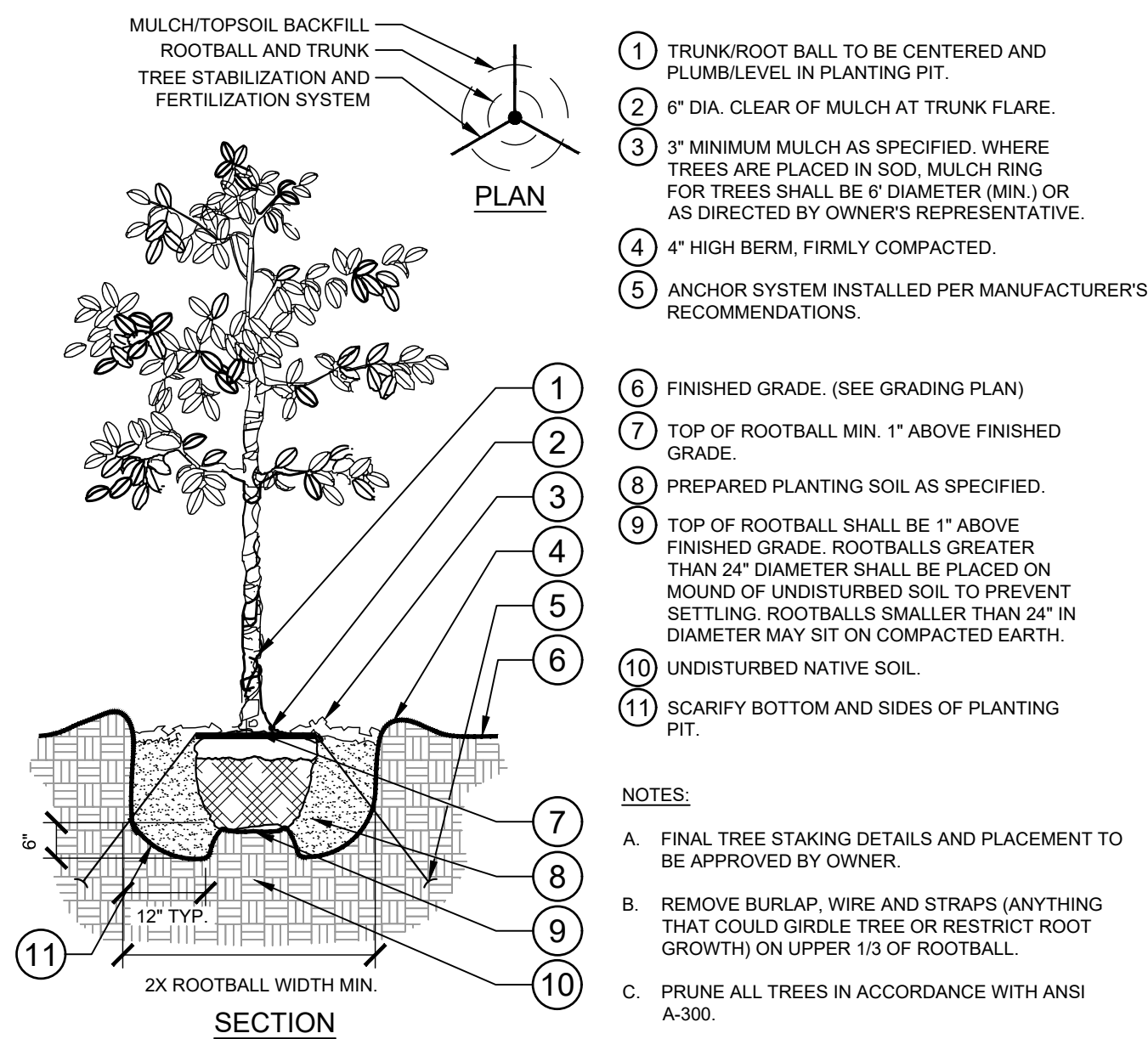
DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 10/3/2023

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK, UNIT 1 CONTAINING
39.775 ACRES

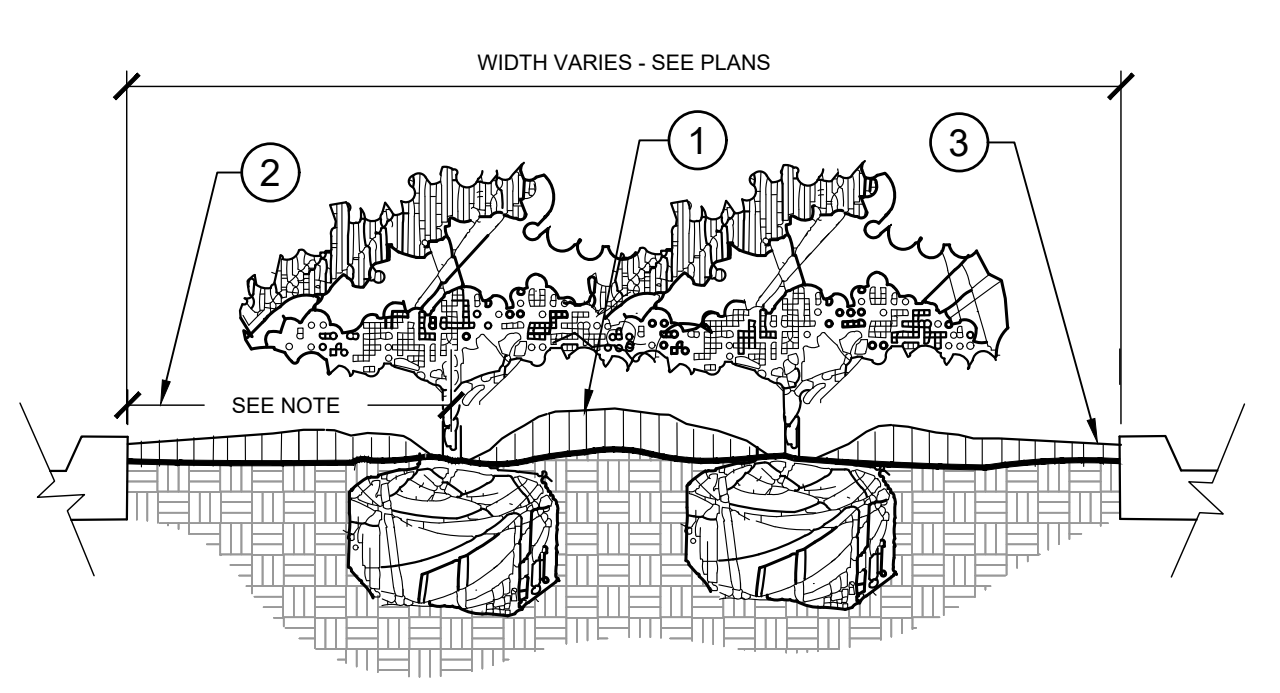
ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
LANDSCAPE NOTES

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Kimley»Horn
Kimley-Horn and Associates, Inc.
PROJECT NO.
096523009
SHEET
11

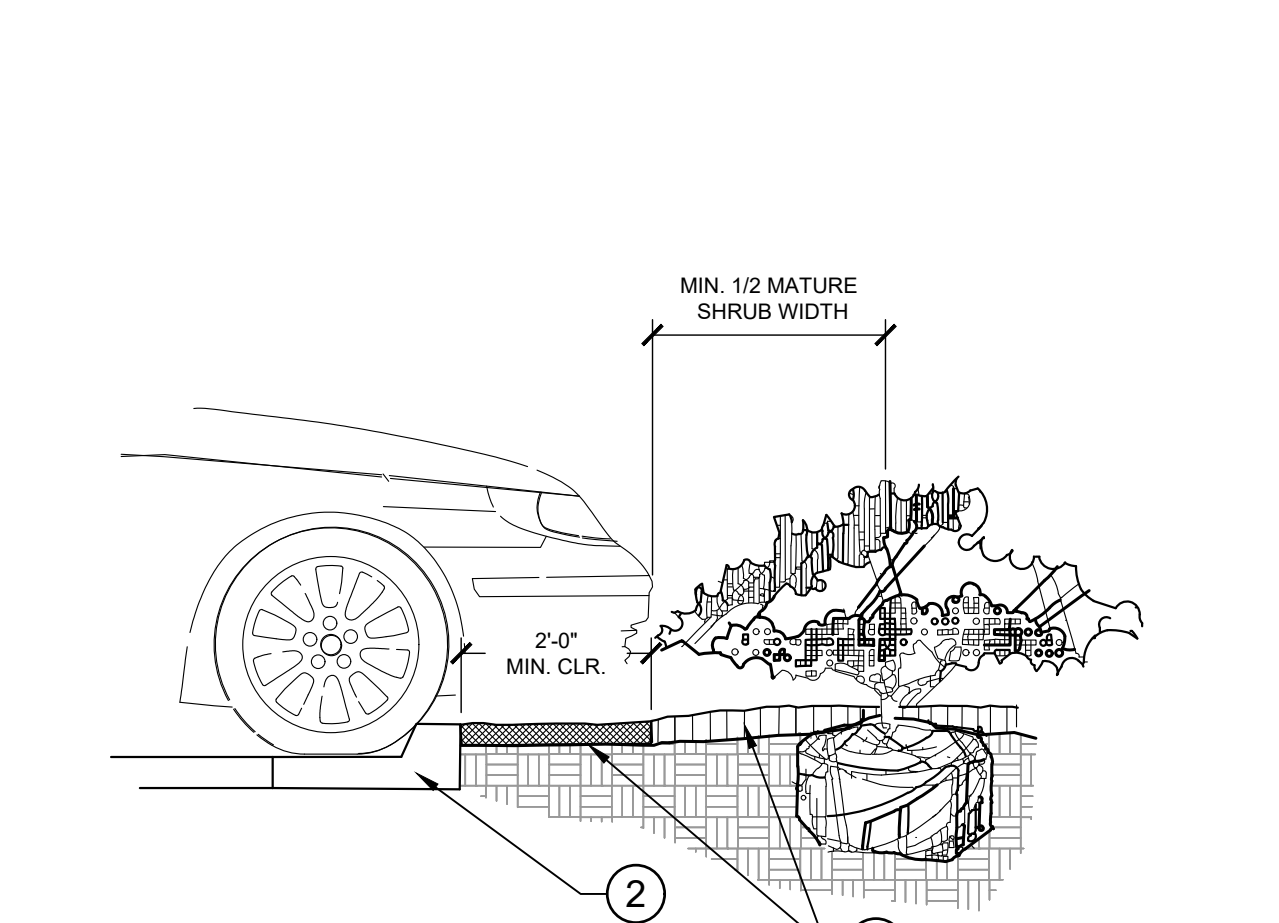
THIS DOCUMENT, TOGETHER WITH THE CONTRACT, AND ANY ADDENDUMS, SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



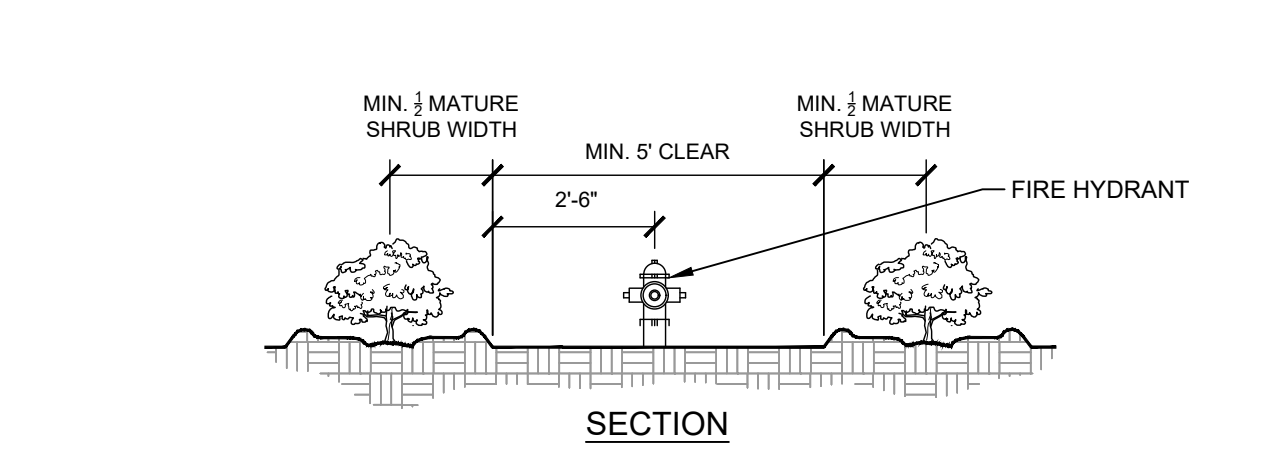
1 TREE PLANTING
SECTION / PLAN
NTS



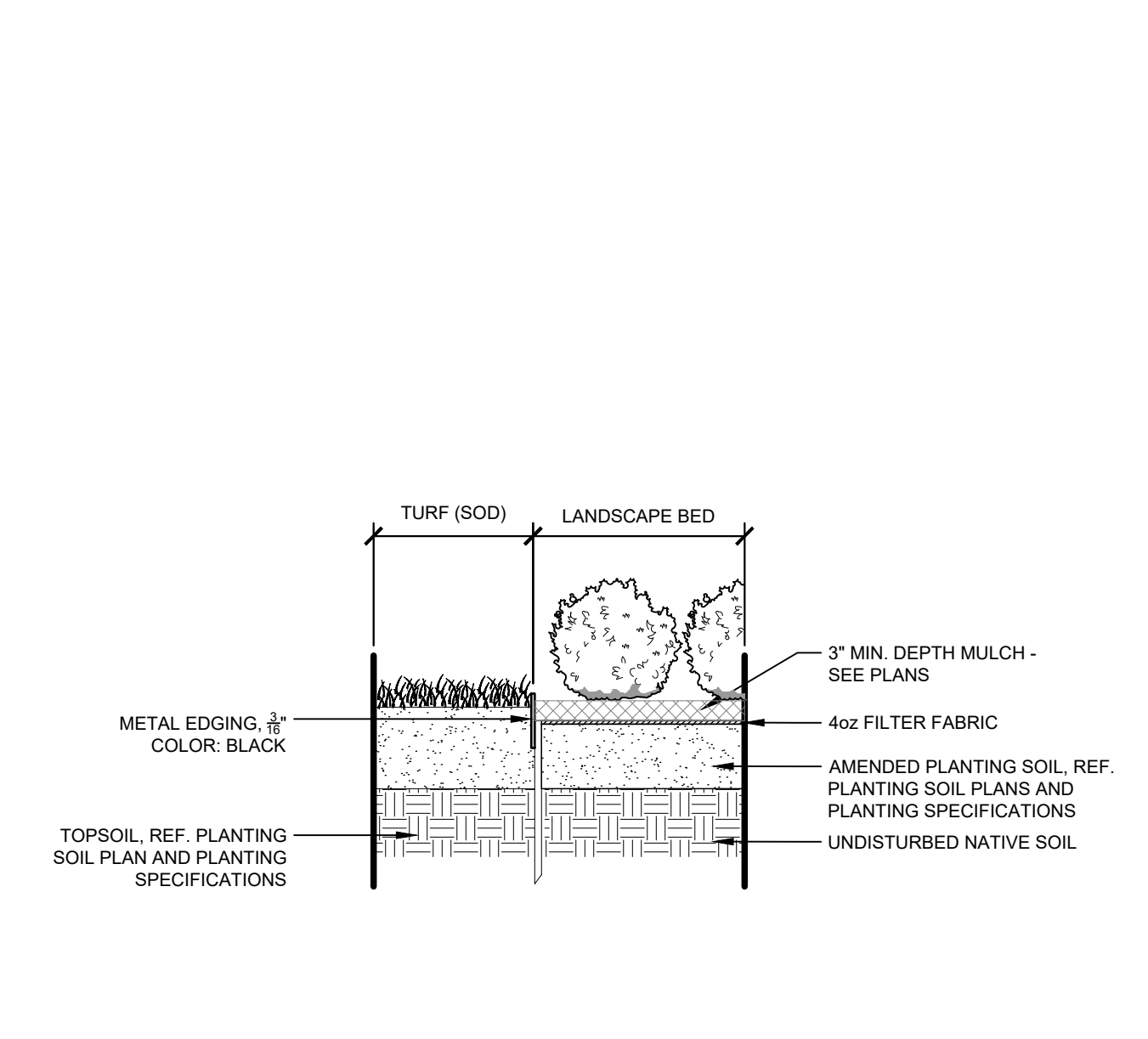
2 PLANTED PARKING LOT ISLANDS/MEDIANS
SECTION
NTS



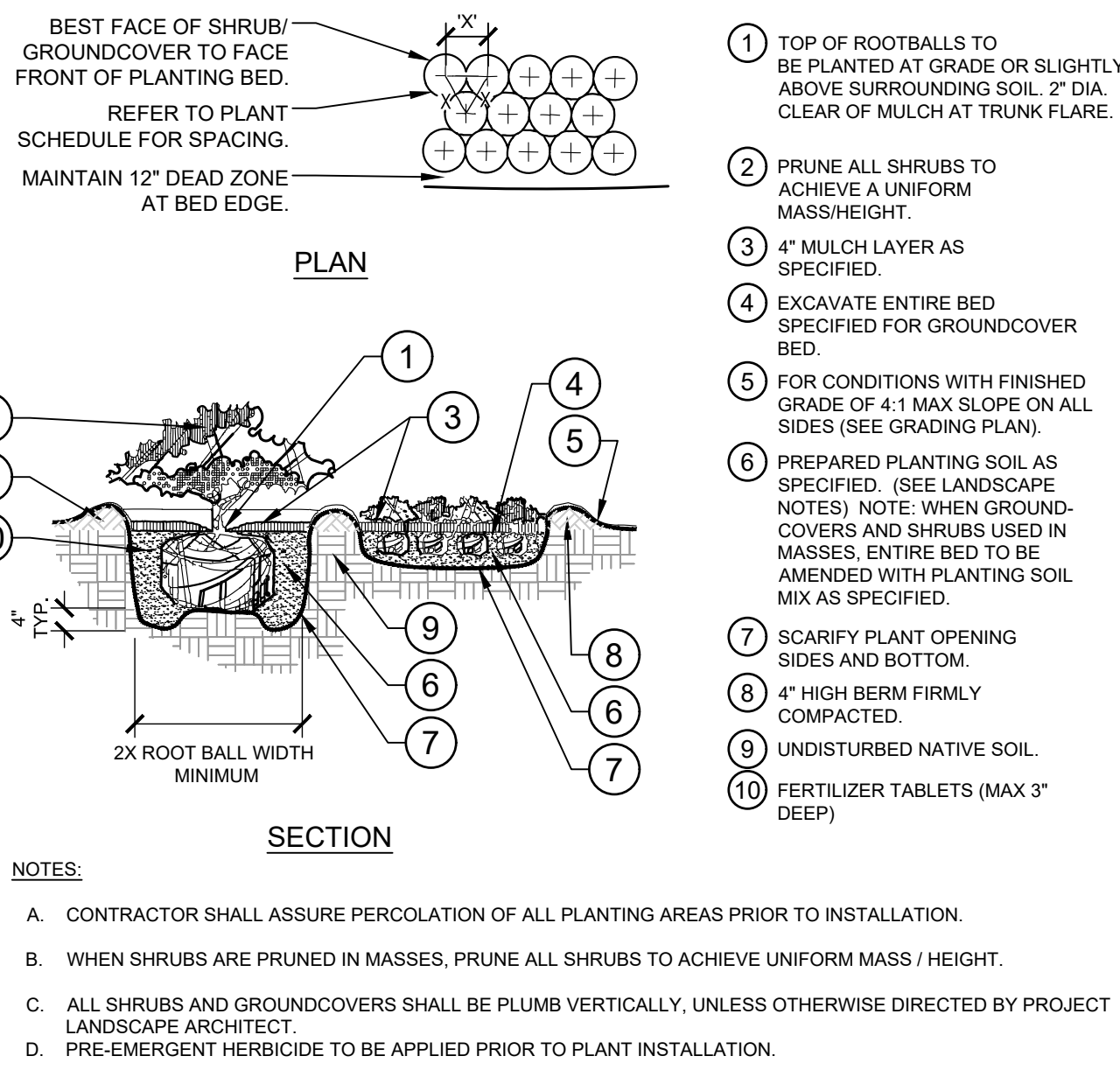
3 PARKING SPACE/CURB PLANTING
SECTION
NTS



4 SHRUB PLANTING AT FIRE HYDRANT
SECTION / PLAN
NTS



5 METAL EDGER AT PLANTING BED
SECTION / PLAN
1" = 1"
096-523-009-21



6 SHRUB/GROUNDCOVER PLANTING
SECTION / PLAN
NTS

PLANT SCHEDULE LANDSCAPE AREA

DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	CO	18	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
	GS	18	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	B & B	2" CAL MIN	10' - 12' HT. MIN.
	SD	18	SAPINDUS DRUMMONDII	WESTERN SOAPBERRY	B & B	2" CAL MIN	10' - 12' HT. MIN.
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	JS	17	JUNIPERUS MONOSPERMA	ONESEED JUNIPER	B & B		6' HT MIN
	PN	22	PINUS NIGRA	AUSTRIAN PINE	B & B		6' HT MIN
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACING
	RM	45,464 SF	1-1/2" - 2" RIVER ROCK MULCH	1-1/2" - 2" RIVER ROCK MULCH			
	XA	11,502 SF	APPLEWOOD SEED MIX	DETENTION SEED MIX	SEED		
	XL	22,444 SF	NATIVE SEED MIX SEE DETAILS FOR SEED MIX	NATIVE SEED MIX	SEED		

NATIVE SEED MIX

NATIVE-GRASS SEED MIX SHALL BE 50% / 50% (BY WEIGHT) COMBINATION OF BOUTELOUA GRACILIS 'HACHITA' - BLUE GRAMA, AND BUCHLOE DACTYLOIDES - BUFFALO GRASS, APPLIED AT A RATE OF 100# PLS/AC

CODE TABLE

LANDSCAPE AREA
TOTAL LOT AREA = 39.94 ACRES / 1,739,791 SF

TOTAL GROSS LOT AREA	1,739,791 SF
TOTAL BUILDING AREA (EXISTING TO REMAIN)	103,007 SF
TOTAL BUILDING AREA (PROPOSED)	89,631 SF
NET LOT AREA	1,547,153 SF

TOTAL NET LOT AREA	1,547,153 x 20% =
TOTAL LANDSCAPE REQUIREMENT	= 309,431 SF

EXISTING LANDSCAPE	285,700 SF
PROPOSED LANDSCAPE	79,410 SF
TOTAL LANDSCAPE AREA PROVIDED	365,110 SF (23%)

TOTAL COVERAGE (PROPOSED LANDSCAPE AREA)	79,410 x 75% =
TOTAL COVERAGE REQUIREMENT	= 59,558 SF
TOTAL COVERAGE PROVIDED	= 60,783 (76%)
COVERAGE OF GROUND-LEVEL PLANTS REQ.	= 19,965.5 (25%)
COVERAGE OF GROUND-LEVEL PLANTS PROV.	= 33,946 (42%)

14-6-5-6(F) PARKING LOT LANDSCAPING

258 PROPOSED PARKING STALLS	
1 TREE / FOR EACH 10 PARKING STALLS REQUIRED =	26 TREES
TOTAL TREES PROVIDED	26 TREES

14-6-5-6(D) STREET TREE LANDSCAPING

1,118 LF OF STREET FRONTAGE	
1 TREE / PER 25 LF OF STREET FRONTAGE REQUIRED =	45 TREES
TOTAL TREES PROVIDED	45 TREES

DETENTION SEED MIX

WATER PLANTAIN	ALISMA SUBCORDATUM
SWAMP MILKWEED	ASCLEPIAS INCARNATA
TICKSEED SUNFLOWER	BIDENS ARISTOSA
ALLEGHENY MONKEYFLOWER	MIMULUS RINGENS
DITCH STONECROP	PENTHORUM SEDOIDES
CUTLEAF CONEFLOWER	RUDBECKIA LACINIATA
COMMON ARROWHEAD	SAGITTARIA LATIFOLIA
BLUE VERVAIN	VERBENA HASTATA
AWL-FRUITED SEDGE	CAREX STIPATA
FOX SEDGE	CAREX VULPINOIDEA
VIRGINIA WILDRIE	ELYMUS VIRGINICUS
SPIKE RUSH	ELEOCHARIS SPECIES
SOFT RUSH	JUNCUS EFFUSUS
PATH RUSH	JUNCUS TENUIS
RICE CUT GRASS	LEERSIA ORYZOIDES
SWITCHGRASS	PANICUM VIRGATUM
SOFTSTEM BULRUSH	SCHOENOPLECTUS TABERNAEMONTANI
PRAIRIE CORDGRASS	SPARTINA PECTINATA

NURSE CROPS:

COMMON OATS	AVENA SATIVA
ANNUAL RYE	LOLIUM MULTIFLORUM

THIS MIX IS COMPOSED OF TENACIOUS SPECIES OF WILDFLOWERS, GRASSES, RUSHES AND SEDGES THAT CAN TOLERATE AREAS THAT ARE INUNDATED PERIODICALLY BY WATER.
PRODUCT CODE: DBWT
PLANTING RATE: 35 LBS./ACRE
*MIXTURE MAY VARY OCCASIONALLY FROM THE INDICATED LISTING, BASED ON AVAILABILITY OF INDIVIDUAL SPECIES.

MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
ADDITIONAL LANDSCAPE ADDITIONS TO NEW LANDSCAPE ISLANDS, NEW LANDSCAPE AROUND BUILDING EXPANSION, ALONG EASTERN AND SOUTHERN PROPERTY LINES

NO.	REVISION	BY	DATE	APPR.

Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: ECS
DRAWN BY: ECS
CHECKED BY: EIWS
DATE: 10/3/2023

LEGAL DESCRIPTION:
TRACT A, ATRISCO BUSINESS
PARK UNIT 1 CONTAINING
39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
LANDSCAPE DETAILS

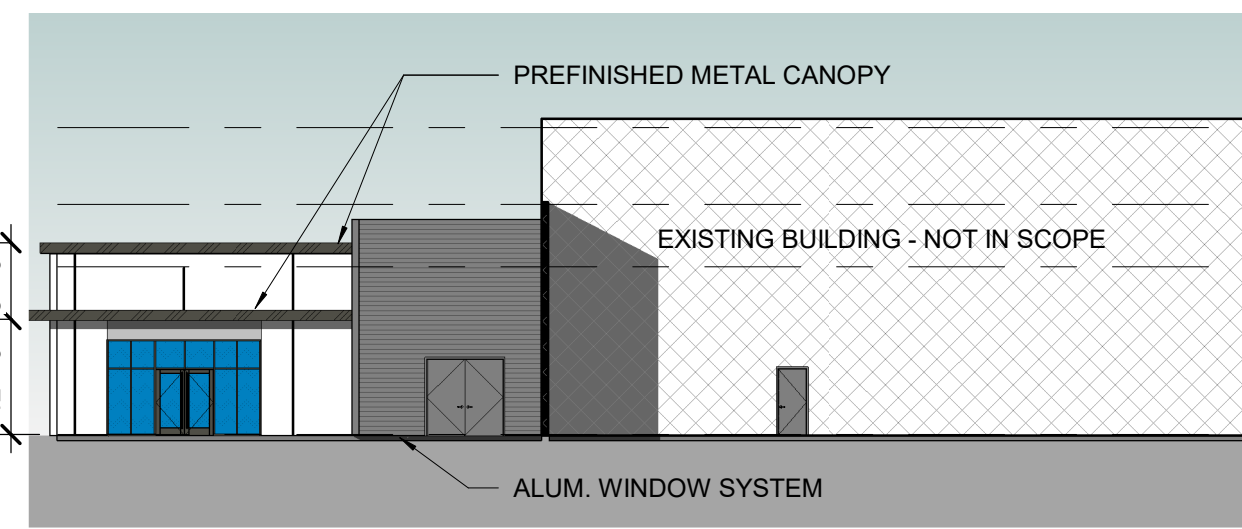
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PROJECT NO.
096523009

SHEET

12

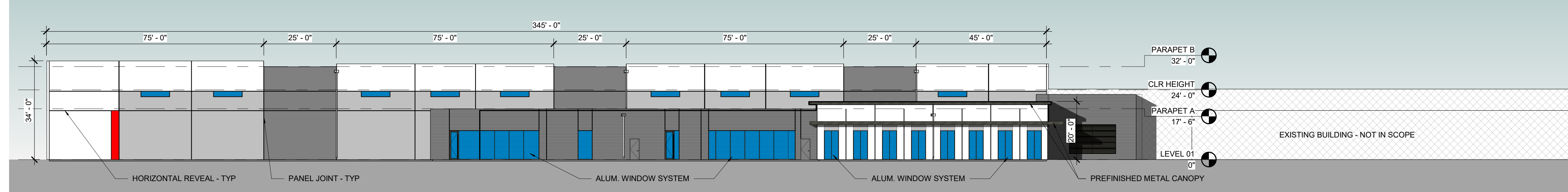
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGN PRESENTED HEREIN, IS AN INSTRUMENT OF SERVICE AS DEFINED IN THE PROFESSIONAL ENGINEERING CONTRACT AGREEMENT AND SHALL BE USED ONLY FOR THE PROJECT, PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN AUTHORIZATION AND APPROVAL OF KIMLEY-HORN AND ASSOCIATES, INC.



- PARAPET B
32'-0"
- CLR HEIGHT
24'-0"
- PARAPET A
17'-6"
- LEVEL 01
0"

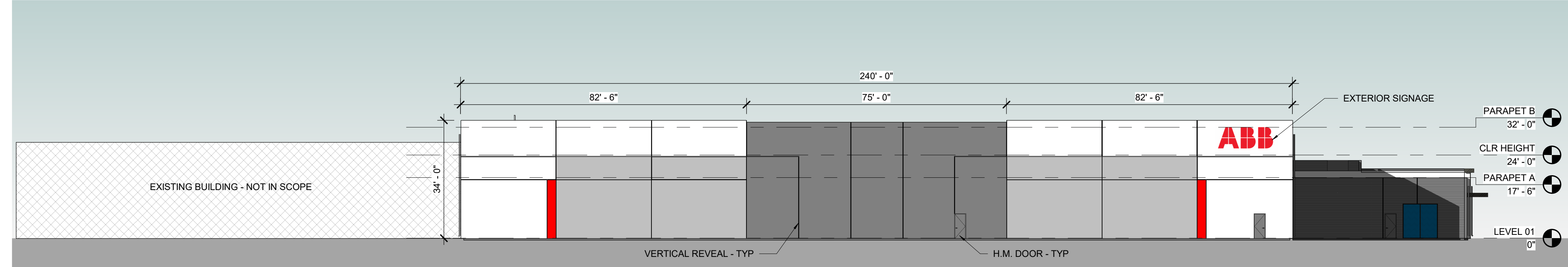
OVERALL ELEVATION - NORTH - SDP

SCALE: 1" = 20'-0"



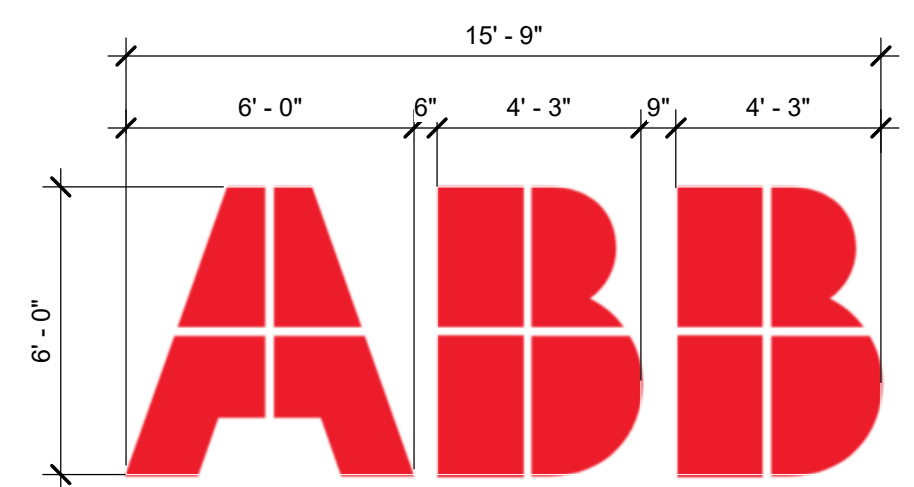
OVERALL ELEVATION - EAST - SDP

SCALE: 1" = 20'-0"



OVERALL ELEVATION - SOUTH - SDP

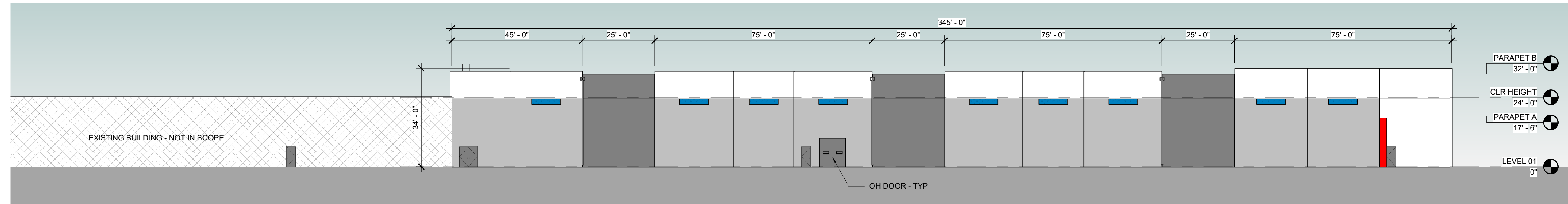
SCALE: 1" = 20'-0"



SIGN NOTES:
SIGN AREA: 66 SF
TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN
MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

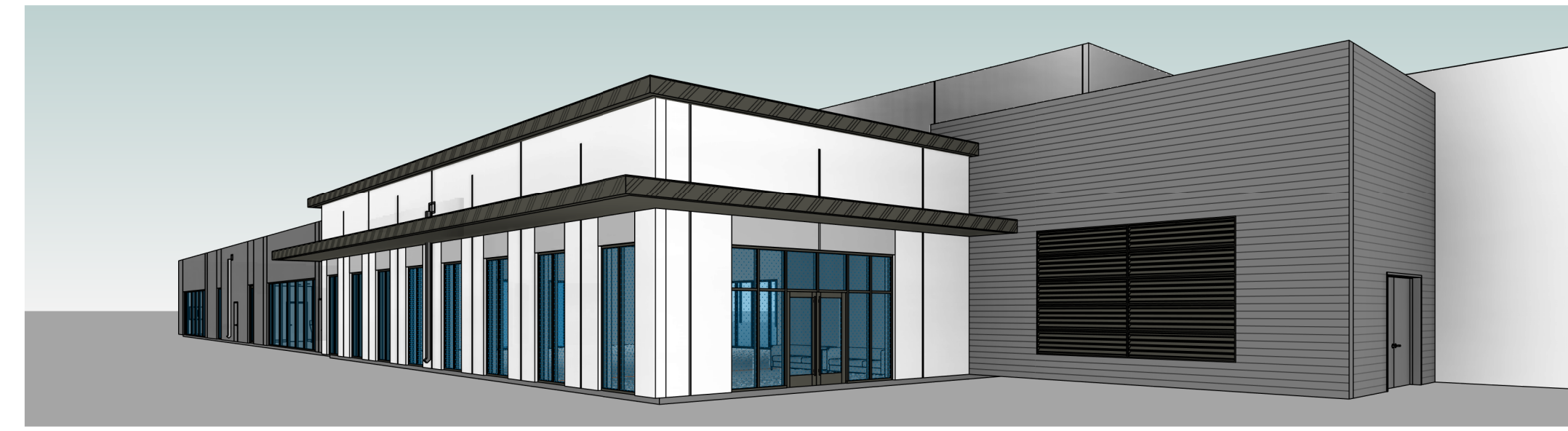
EXTERIOR SIGNAGE - ABB LOGO

SCALE: 1/4" = 1'-0"



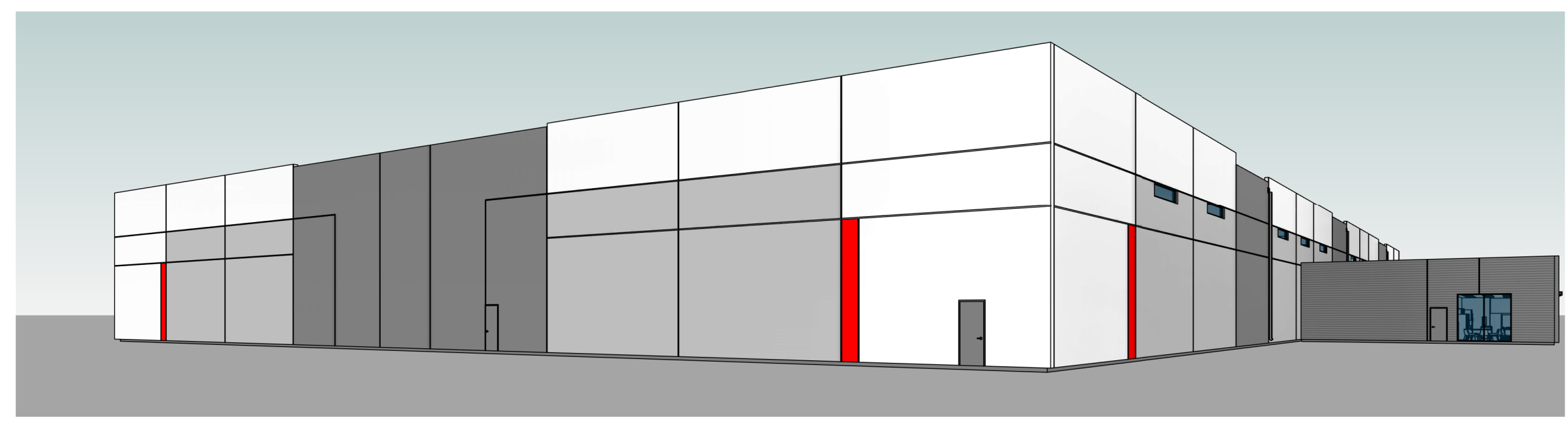
OVERALL ELEVATION - WEST - SDP

SCALE: 1" = 20'-0"



NE PERSPECTIVE

SCALE:

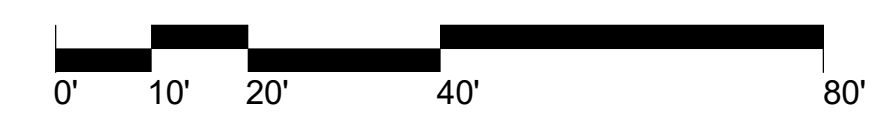


SE PERSPECTIVE

SCALE:

1
**MAJOR AMENDMENT TO GOVERNING SITE PLAN DRB-95-146 (OCT 4, 2023).
-93,000 GSF EXPANSION OF EXISTING MANUFACTURING WAREHOUSE.
NEW ELEVATIONS INCLUDED FOR PROPOSED EXPANSION AND ITS
MOUNTED SIGNAGE.**

- PAINTED CONCRETE - FIELD - WHITE
- PAINTED CONCRETE - ACCENT 01 - LIGHT GRAY
- PAINTED CONCRETE - ACCENT 02 - DARK GRAY
- PAINTED CONCRETE - ACCENT 03 - RED
- PAINTED CONCRETE WITH FORMLINER - ACCENT 02 - DARK GRAY
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



NO.	REVISION	BY	DATE	APPR.

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6200 South Syracuse Way, Suite 300
Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MF
DRAWN BY: MF
CHECKED BY: KS
DATE: 09/06/23

LEGAL DESCRIPTION:
TRACT A, TRISCO
BUSINESS PARK UNIT 1
CONTAINING 39.775 ACRES

ABB ABQ ADDITION
6625 BLUEWATER ROAD NW
MAJOR AMENDMENT
BUILDING ELEVATIONS

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CONSTRUCTION
Kimley-Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

SHEET

13 OF 13

SUPPORTIVE DOCUMENTS

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____
Date Site Plan Approved: _____
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DHO Project No.: _____
DHO Application No.: _____

INFRASTRUCTURE LIST

(Rev. 2-16-18)

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT HEARING OFFICER (DHO) REQUIRED INFRASTRUCTURE LIST**

TRACT A-1, UNIT 1 ATRISCO BUSINESS PARK

PROPOSED NAME OF PLAT

TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private		City Cnst Engineer
							Inspector	P.E.	
<input type="text"/>	<input type="text"/>	1,380 sf	Construct new asphalt pavement (new 10.5' wide turn lane)	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	6" curb and gutter	Construct new curb and gutter	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	6' wide concrete sidewalk	Construct new concrete sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>	3,053 sf	Demolition of existing curb and gutter, and sidewalk	Bluewater Rd NW	Existing eastern entrance	Eastern property line	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification			
							Private		City Cnst Engineer	
							Inspector	P.E.		
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
<input type="text"/>	<input type="text"/>	_____	_____	_____	_____	_____	/	/	/	
							Approval of Creditable Items:	Approval of Creditable Items:		
							Impact Fee Administrator Signature Date	City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

1 _____

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT FACILITATION TEAM APPROVALS

MADISON JUREWICZ
NAME (print)
KIMLEY-HORN AND ASSOCIATES
FIRM
Madison Jurewicz 1/30/2024
SIGNATURE - date

PLANNING - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & RECREATION - date

AMAFCA - date

CODE ENFORCEMENT - date

HYDROLOGY - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

September 5, 2023

RE: Sensitive Lands Analysis, 6625 Bluewater Road NW, Tract A

This memo responds to the Sensitive Lands criteria in IDO Section 14-16-5-2 for the lot located at 6625 Bluewater Road NW legally identified as Tract A Atrisco Business Park Unit 1. We have analyzed the project site for the presence of sensitive lands and constraints related to such lands. No sensitive lands will be affected by development on the subject property; however, the site does contain a sensitive land onsite associated with a floodplain.

- a) **Arroyos:** The site does not contain any arroyos.

- b) **Floodplains and Special Flood Hazard Areas:** The subject site is in an area with a FEMA Flood Zone Designation AE as identified in FEMA FIRM Panel 35001C0329H, which is defined as follows:

AE flood zones are areas that present a 1% annual chance of flooding and a 26% chance over the life of a 30-year mortgage, according to FEMA. These regions are clearly defined in Flood Insurance Rate Maps and are paired with detailed information about base flood elevations.

The AE flood zone is fully contained within the limits of the parcel. The flood zone currently receives concentrated runoff generated from site development and is utilized as the retention basin. The net increase in required detainment volume generated by the new building addition and new paved parking areas will be captured and retained in a separate retention basin in order to avoid any impacts to the existing flood plain. Therefore, the floodplain onsite will remain untouched.



Figure 1: FEMA Flood Zone within Project Limits (shown in red)

- c) **Irrigated Facilities (acequias):** The site is not located in the valley and is not near any irrigation facilities.
- d) **Large stands of mature trees:** There are existing trees located throughout the lot that were installed per City landscape requirements throughout the various amendments onsite.
- e) **Riparian Areas:** No rivers or streams occur onsite and no riparian areas are identified.
- f) **Rock Outcroppings:** Outcroppings are defined in the IDO as being at least 6 feet in height and over 500 square feet. Therefore, there are no rock outcroppings on the subject property.
- g) **Significant archaeological sites:** The site has pursued a certificate of no effect as the site is already developed since the 1970's and the expansions proposed area in areas of development.
- h) **Steep Slopes and Escarpments:** The IDO defines steep slopes as land with 9% slope or greater. The property is relatively flat with minor locations of slopes above 9%. Majority of slopes 9% or greater sit on the adjacent parcels. Proposed improvements will not impact existing onsite steep slopes.

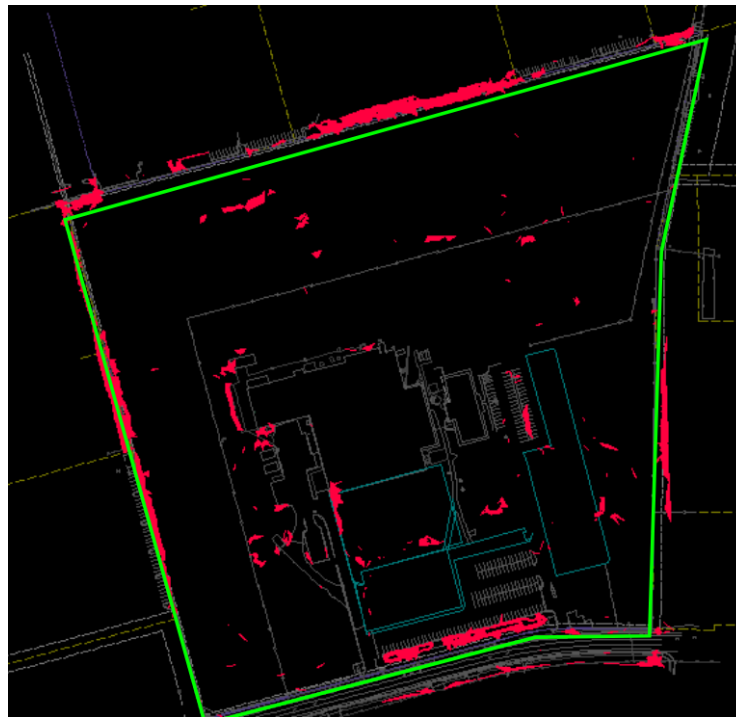


Figure 2: Steep Slopes onsite and adjacent to the subject property



Figure 3: Steep slope of gravel perm facing north from Bluewater Road



Figure 4: Steep slopes in landscape area for trees



Figure 5: Open space/flood zone area

- i) **Wetlands:** Utilizing the U.S. Fish and Wildlife Service Wetland Mapper, it is determined that no wetlands exist on the property.

Thank you for your consideration. Please do not hesitate to request any additional information that is needed.

Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. *The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).*

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved Achieved in Part Evaluated Only

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved Achieved in Part Evaluated Only

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only N/A

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only N/A

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project ABB ABQ Addition and Application No _____.



Signature of Project Architect/License No.



Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that *summer sun* be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of *winter sun* should reach transparent windows and doors at noon on each facade.

The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**

SITE PLAN CHECKLIST

Project #: _____ Application #: _____

This checklist will be used to verify the completeness of site plans submitted for review by the Planning Department. **Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Also there may additional requirements if a site is located in CPO, HPO, and/or VPO or if located in DT-UC-MS or PT areas. See the IDO or AGIS for boundaries.** Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

Madison Jurewicz 9/6/2023

Applicant or Agent Signature / Date

Site plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. Site Plan (including utilities and easements)
2. Landscaping Plan
3. Grading and Drainage Plan
4. Utility Plan
5. Building and Structure Elevations
6. Previously approved Development Plan (if applicable)

The electronic format must be organized in the above manner.

The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

NOTE: There may be addition information required if site is located with a CPO, VPO or HPO and/or any other special areas as defined by the IDO.

NOTE: If there requests for deviations (Section 14-16-6-4(O), they must be clearly labelled on the site plan (Sheet 1) as well as addressed in the application letter made with the submittal.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100'

SITE PLAN CHECKLIST

- 3. Bar scale
- 4. North arrow
- 5. Legend
- 6. Scaled vicinity map
- 7. Property lines (clearly identify)
- 8. Existing and proposed easements (identify each)
- 9. Phases of development, if applicable

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed) and include any accessory structures
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Signs (freestanding) and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, if applicable.
- K. Existing zoning/land use of all abutting properties

2. Parking, Loading and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including motorcycle spaces, bicycle spaces, ADA accessible spaces, and compact spaces
 - 2. Calculations: spaces required and proposed (include any reduction calculations) for motorcycle, bicycle, compact and ADA spaces
 - 3. On street parking spaces
- B. Bicycle parking & facilities
 - 1. Bicycle racks – location and detail
 - 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to DPM and IDO)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Loading, service area, and refuse service locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths (including ADA connection from ROW to building and from ADA parking to building)

SITE PLAN CHECKLIST

- 2. Location and dimension of drive aisle crossings, including paving treatment
- 3. Location and description of amenities, including patios, benches, tables, etc.

- E. Off-Street Loading
 - 1. Location and dimensions of all off-street loading areas

- F. Vehicle Stacking and Drive-Through or Drive-Up Facilities
 - 1. Location and dimensions of vehicle stacking spaces and queuing lanes
 - 2. Landscaped buffer area if drive-through lanes are adjacent to public R/W
 - 3. Striping and Sign details for one-way drive through facilities

3. Streets and Circulation

- n/a A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
 - 6. Location of street lights
 - 7. Show and dimension clear sight triangle at each site access point
 - 8. Show location of all existing driveways fronting and near the subject site.

- n/a B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - 3. Transit facilities, including routes, bus bays and shelters existing or required

4. Phasing

- n/a A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, gravel areas, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use

SITE PLAN CHECKLIST

- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system – Phase I & II . . .
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 13. Landscaped buffer areas provided; dimensions, label clearly that it is a landscape buffer, square footage and percent (specify clearly on plan)
- 14. Planting or tree well detail
- 15. Street Trees (only trees from the Official Albuquerque Plant Palette and Sizing list or 8 inch caliper or larger will be counted)
- 16. Parking lot edges and interior – calculations, dimensions and locations including tree requirements
- 17. Show Edge Buffer Landscaping (14-16-5-6(D)) – location, dimensions and plant material

SHEET #3 –GRADING AND DRAINAGE PLAN

A separate grading and drainage plan (and drainage report) must be submitted to the DRS Hydrology Section prior to the DRB submittal for a site plan (See DRWS Form).

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SITE PLAN CHECKLIST

SHEET #4- UTILITY PLAN

- A. Fire hydrant locations, existing and proposed. (or submit signed off Fire One Plan)
- B. Distribution lines
- C. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- D. Existing water, sewer, storm drainage facilities (public and/or private).
- E. Proposed water, sewer, storm drainage facilities (public and/or private)

SHEET #5 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
 - 5. Location and dimensions of mechanical equipment (roof and/or ground mounted)

B. Building Mounted Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.
- 7. List the sign restrictions per the IDO

September 1, 2023

Letter of Authorization

To whom it may concern,

Please accept this letter to authorize Madison Jurewicz with Kimley-Horn and Associates to submit the Site Plan Application to the City of Albuquerque on behalf of the owners. This authorization is for the development of Tract A Atrisco Business Park Unit 1 located at 6625 Bluewater Road NW.

Let us know if you have any additional questions regarding this authorization.

Thank you for your time and consideration.

Sincerely,



David Jaramillo
General Manager, Albuquerque Facility



January 31, 2024

Development Facilitation Team
City of Albuquerque Planning Department
P.O. Box 1293
Albuquerque, NM 87103

**RE: SITE PLAN – ADMINISTRATIVE DFT JUSTIFICATION LETTER
ABB ABQ ADDITION
6625 BLUEWATER ROAD**

Dear Development Facilitation Team,

Please find the following request for approval of a Site Plan – Administrative DFT Submittal for the subject property known as ABB ABQ Addition. The subject site included is legally described as Tract A Atrisco Business Park, Unit 1, zoned NR-BP, and totals approximately thirty-nine acres (J-10-Z).

Project History

The site has been developed since the 1970's. The most recent Site Amendment was approved in 1995. The lot is currently utilized by ABB for uses associated with Light Manufacturing. A separate building exists for administrative uses. The existing manufacturing warehouse totals approximately 90,000 square feet.



Map showing Subject Site in Red

The site is located within the Atrisco Business Park Master Plan (ABP Master Plan). The original approved land use on the subject site was IP Industrial Park, with zoning SU-1 for Planned Industrial Park, which converted to NR-BP upon adoption of the IDO. SU-1 zones were controlled by the EPC.



City Zoning Maps

Proposed Site Plan and IDO Justification

The project includes the expansion of an existing manufacturing warehouse and extension of existing onsite parking. The 93,000 gsf building expansion will include additional manufacturing area, a customer experience center, conference room, and employee break and restrooms, and will connect to the existing approximate 93,000 gsf manufacturing warehouse.

Additional site improvements will include:

1. New landscape along the building expansion, new landscape islands, and site perimeter in compliance with the latest IDO.
2. Relocating existing parking demolished by the building expansion and increased onsite paved parking areas. The total parking count is estimated at 368 stalls.
3. Relocation of an existing onsite fire hydrant and fire supply line to route around the proposed addition. Additional wet and dry utilities to support expansion.
4. Offsite improvements associated with a new right turn lane into the project site and left turn striping revisions at the intersection of Coors Blvd & Bluewater and Unser & Bluewater. These will be tied to the Site Plan process.

The Expansion project has gone through the following City process:

- 1) Major Amendment to Site Plan – EPC (PR-2023-009209): A Major Amendment to the governing site plan was submitted and hear on 10/19/2023 and received conditional approval.
- 2) Sketch Plan with DFT (PR-2023-009833).: A Sketch plan submission was made to the DFT and reviewed on 11/01/2023. Following the Sketch Plan Review, coordination was had with Bonnie

Strange and Jolene Wolfley regarding City review comments pertaining to Building Façade, screening, and site landscaping. Email correspondence is attached noting the permitted increase shade tree spacing along the sidewalk adjacent to the eastern building face and removal of request to provide screening landscaping along the R-MH zoned parcel along the NW parcel corner.

14-16-6(G)(3) Site Plan EPC – Review and Decision Criteria

(a) – The Site Plan complies with all applicable provisions of this IDO, the DPM, there adopted City regulations, and any terms and conditions specifically applied to development of the property in a prior permit or approval affecting the property.

Response: The property complies will all requirements of the IDO, the DPM, and previous approvals. The Site Plan provides adequate onsite parking for standard, handicap, motorcycle, and bicycle parking. The site provides approximately 368 parking stalls, 9 being ADA stalls and 4 being EV charging. There are also 6 motorcycles, 1 loading, and 20 bicycle spots. Two onsite detention basins are proposed to capture the net increase of stormwater runoff prior to discharging into the onsite flood zone. Additional landscaping is proposed along Bluewater Road in accordance with the current IDO. Landscape improvements have been limited to the extents of the proposed expansion. The proposed expansion building height is in compliance with the maximum building height allowed on the zoned lot.

(b) – The City's existing infrastructure and public improvements, including but not limited to its streets, trails, drainage, and sidewalk systems, have adequate capacity to serve the proposed development, or the applicant has agreed to install required infrastructure and public improvements pursuant to Subsection 1-6-1-7(B)(2) and 14-16-5-4(N) and/or signed an Infrastructure Improvement Agreement (IIA) pursuant to Subsection 14-16-5-4(O) to add adequate capacity.

Response: Due to the total anticipated daily traffic post expansion, a Traffic Impact Study is required for the site due to the increase of daily employees from the building expansion. The City/NMODT have requested public improvements. These improvements include increase the West Bound left turn lane queue length at Unser and Bluewater intersection, adding a secondary east bound left turn lane at the intersection of Coors Blvd and Bluewater, and installing a new right turn lane into the project site. These improvements will be tied to the Site Plan process as ROW dedication is required for right turn lane installation which is through the DHO via a Minor plat.

The existing curb cuts will be utilized by the expansion. Public sidewalk existing within the private site and public sidewalk existing along the frontage road, Bluewater Road that provides connectivity to the surrounding public streets and public transit stops. All drainage will remain onsite and will drain to one of two proposed detention basins that will mitigate the increased impervious runoff due to the expansion prior to draining to the onsite flood zone. No existing trails existing on or adjacent to the site.

(c) – If the subject proposed is within an approved Master Development Plan, the Site Plan shall meet any relevant standards in the Master Development Plan in addition to any IDO standards applicable in the zone district the subject property is in.

Response: The subject site is within the Atrisco Business Park master development and complies with all requirements within the comp plan. The Master Development requires screening of parking areas from public adjacent streets. Along Bluewater Road additional trees and shrubbery is proposed to provide additional screening of the onsite parking. Site security fencing, that currently exists, complies with the Master Development requirement of a mixture of masonry pillars and decorative wrought iron fencing. The security fencing along Bluewater Road currently consists of a mixture of masonry pillars and wrought iron fencing. Rooftop equipment will be screened from public view by materials of the same nature of the

building's basic materials. Parapets are proposed along the building roof to providing screening of any equipment on the roof.

(d) – If the subject property is within an approved Framework Plan, the Site Plan shall meet any relevant standards in the Framework Plan in addition to any IDO standards applicable to the type of development.

Response: N/A the site is not within a Framework Plan.

Conclusion

Based on the information provided, we are requesting the DFT's approval of this Site Plan - Administrative to continue forward with pursuing Building Permits and construction onsite. If you have any questions, please reach out me at (720)464-2539 or madison.jurewicz@kimley-horn.com .

Sincerely,



Madison Jurewicz, EIT

Project Manager

Kimley-Horn and Associates



City of Albuquerque
P.O. Box 1293 Albuquerque, NM 87103
Planning Department
Alan Varela, Interim Director

Tim Keller, Mayor
Sarita Nair, CAO

DATE:

SUBJECT:

Case Number(s):

Agent:

Applicant:

Legal Description:

Zoning:

Acreage:

Zone Atlas Page(s):

CERTIFICATE OF NO EFFECT: Yes No

CERTIFICATE OF APPROVAL: Yes No

SUPPORTING DOCUMENTATION:

SITE VISIT:

RECOMMENDATIONS:

SUBMITTED BY:

SUBMITTED TO:

REQUIRED NOTICES PER IDO TABLE 6-1-1

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the Integrated Development Ordinance are responsible for the posting and maintaining of one or more signs on the property which is subject to the application, as shown in Table 6-1-1. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application for a \$10 fee per sign. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign(s).

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to any public meeting or hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from _____ To _____

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Madison Jurewicz 1/30/2024
(Applicant or Agent) (Date)

I issued _____ signs for this application, _____, _____
(Date) (Staff Member)

PROJECT NUMBER: _____

Jurewicz, Madison

From: Flores, Suzanna A. <Suzannaflores@cabq.gov>
Sent: Thursday, January 4, 2024 1:57 PM
To: Jurewicz, Madison
Subject: 6625 Bluewater Rd NW_Neighborhood Meeting Inquiry Sheet Submission

Follow Up Flag: Follow up
Flag Status: Flagged

You don't often get email from suzannaflores@cabq.gov. [Learn why this is important](#)

PLEASE NOTE:

The neighborhood association contact information listed below is valid for 30 calendar days after today's date.

Dear Applicant:

Please find the neighborhood contact information listed below. Please make certain to read the information further down in this e-mail as it will help answer other questions you may have.

Association Name	Association Email	First Name	Last Name	Email
Los Volcanes NA		Doug	Cooper	douglascope@cabq.gov
Los Volcanes NA		Ted	Trujillo	nedcarla@livestrong.com
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Luis	Hernandez Jr.	luis@wccdg.com
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Jerry	Gallegos	jgallegoswccdg@gmail.com

The ONC does not have any jurisdiction over any other aspect of your application beyond this neighborhood contact information. We can't answer questions about sign postings, pre-construction meetings, permit status, site plans, buffers, or project plans, so we encourage you to contact the Planning Department at: 505-924-3857 Option #1, e-mail: devhelp@cabq.gov, or visit: <https://www.cabq.gov/planning/online-planning-permitting-applications> with those types of questions.

Please note the following:

- You will need to e-mail each of the listed contacts and let them know that you are applying for an approval from the Planning Department for your project.
- Please use this online link to find the required forms you will need to submit your permit application. <https://www.cabq.gov/planning/urban-design-development/public-notice>.
- The Checklist form you need for notifying neighborhood associations can be found here: https://documents.cabq.gov/planning/online-forms/PublicNotice/CABQ-Official_public_notice_form-2019.pdf.

- The Administrative Decision form you need for notifying neighborhood associations can be found here: <https://documents.cabq.gov/planning/online-forms/PublicNotice/Emailed-Notice-Administrative-Print&Fill.pdf>
- Once you have e-mailed the listed contacts in each neighborhood, you will need to attach a copy of those e-mails AND a copy of this e-mail from the ONC to your application and submit it to the Planning Department for approval.

If your application requires you to offer a neighborhood meeting, you can click on this link to find required forms to use in your e-mail to the neighborhood association(s):

<http://www.cabq.gov/planning/urban-design-development/neighborhood-meeting-requirement-in-the-integrated-development-ordinance>

If your application requires a pre-application or pre-construction meeting, please plan on utilizing virtual platforms to the greatest extent possible and adhere to all current Public Health Orders and recommendations. The health and safety of the community is paramount.

If you have questions about what type of notification is required for your particular project or meetings that might be required, please click on the link below to see a table of different types of projects and what notification is required for each:

<https://ido.abc-zone.com/integrated-development-ordinance-ido?document=1&outline-name=6-1%20Procedures%20Summary%20Table>

Thank you,

Suzie



Suzie Flores

Senior Administrative Assistant

Office of Neighborhood Coordination (ONC) | City Council Department | City of Albuquerque

(505) 768-3334 Office

E-mail: suzannaflores@cabq.gov

Website: www.cabq.gov/neighborhoods

[Note: Items with an asterisk (*) are required.]

Neighborhood Meeting Request for a Proposed Project in the City of Albuquerque

Date of Request*: 1/9/2024

This request for a Neighborhood Meeting for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA)*: Los Volcanes NA and SWAN Coalition

Name of NA Representative*: See attached Neighborhood Contact List

Email Address* or Mailing Address* of NA Representative¹: See attached Neighborhood Contact List

The application is not yet submitted. If you would like to have a Neighborhood Meeting about this proposed project, please respond to this request within 15 days.²

Email address to respond yes or no: madison.jurewicz@kimley-horn.com

The applicant may specify a Neighborhood Meeting date that must be at least 15 days from the Date of Request above, unless you agree to an earlier date.

Meeting Date / Time / Location:
TBD - dependent on NA

Project Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6625 Bluewater Rd NW, Albuquerque, NM 87121
Location Description _____
2. Property Owner* ABB Elastimold Products
3. **Agent**/Applicant* [if applicable] Madison Jurewicz @ Kimley-Horn and Associates
4. Application(s) Type* per IDO [Table 6-1-1](#) [mark all that apply]
 - Conditional Use Approval
 - Permit _____ (Carport or Wall/Fence – Major)
 - Site Plan - **Administrative**
 - Subdivision _____ (Minor or Major)

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² If no one replies to this request, the applicant may be submitted to the City to begin the review/decision process.

[Note: Items with an asterisk (*) are required.]

- Vacation _____ (Easement/Private Way or Public Right-of-way)
- Variance
- Waiver
- Zoning Map Amendment
- Other: _____

Summary of project/request^{3*}:

A Site Plan is proposed for an approximate 93,000 gsf building expansion to the existing 93,000 gsf manufacturing building. The expansion project proposes rework of existing site parking lot. A Major Amendment NA meeting was held on 9/5/2023 regarding the project.

5. This type of application will be decided by^{*}: City Staff

OR at a public meeting or hearing by:

- Zoning Hearing Examiner (ZHE) Development Review Board (DRB)
- Landmarks Commission (LC) Environmental Planning Commission (EPC)
- City Council Development Facilitation Team (DFT)

6. Where more information about the project can be found^{4*}:

Kimley-Horn and Associates: Madison Jurewicz; madison.jurewicz@kimley-horn.com; 720.464.2539

Project Information Required for Mail/Email Notice by IDO Subsection 6-4(K)(1)(b):

1. Zone Atlas Page(s)^{5*} J-10-Z & K-10-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards will be requested for this project^{*}:
 - Deviation(s) Variance(s) Waiver(s)

Explanation:

Non-Applicable

4. An offer of a Pre-submittal Neighborhood Meeting is required by Table 6-1-1^{*}: Yes No

³ Attach additional information, as needed to explain the project/request. Note that information provided in this meeting request is conceptual and constitutes a draft intended to provide sufficient information for discussion of concerns and opportunities.

⁴ Address (mailing or email), phone number, or website to be provided by the applicant

⁵ Available online here: <http://data.cabq.gov/business/zoneatlas/>

[Note: Items with an asterisk (*) are required.]

5. **For Site Plan Applications only***, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas.*
 - b. Access and circulation for vehicles and pedestrians.*
 - c. Maximum height of any proposed structures, with building elevations.*
 - d. **For residential development***: Maximum number of proposed dwelling units.
 - e. **For non-residential development***:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

1. From the IDO Zoning Map⁶:
- a. Area of Property [typically in acres] 39.8 acres
 - b. IDO Zone District NR-BP
 - c. Overlay Zone(s) [if applicable] Character Protection Over Zone 3-4
 - d. Center or Corridor Area [if applicable] _____
2. Current Land Use(s) [vacant, if none] Light Manufacturing
-

Useful Links

Integrated Development Ordinance (IDO):

<https://ido.abc-zone.com/>

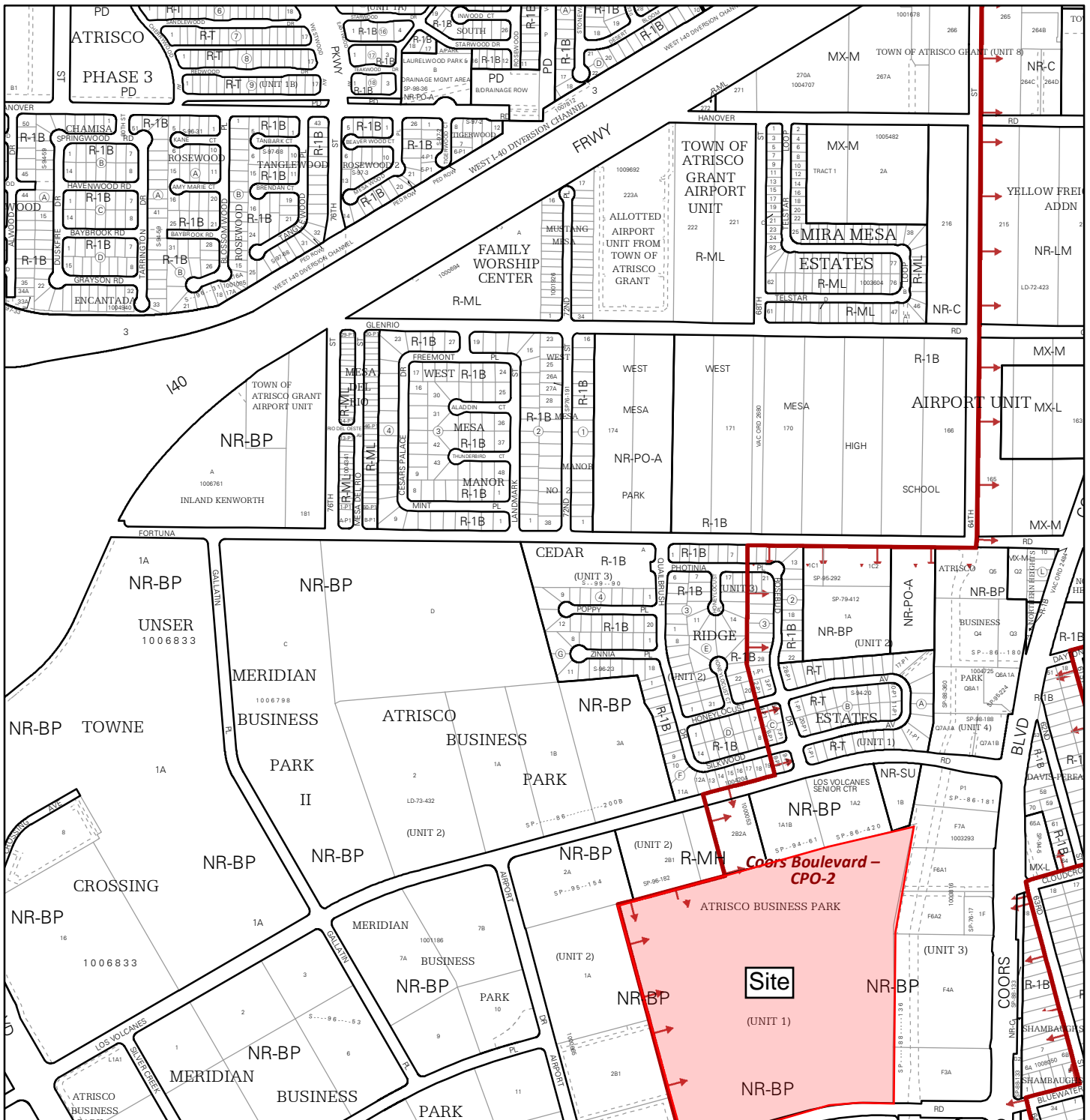
IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>

Cc: _____ [Other Neighborhood Associations, if any]


Association Name	Association Email	First Name	Last Name	Email
Los Volcanes NA		Doug	Cooper	douglascooper@hotmail.com
Los Volcanes NA		Ted	Trujillo	nedcarla@live.com
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Luis	Hernandez Jr.	luis@wccdg.org
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccdg@gmail.com	Jerry	Gallegos	jgallegoswccdg@gmail.com

⁶ Available here: <https://tinurl.com/idozoningmap>











For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018

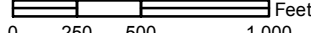


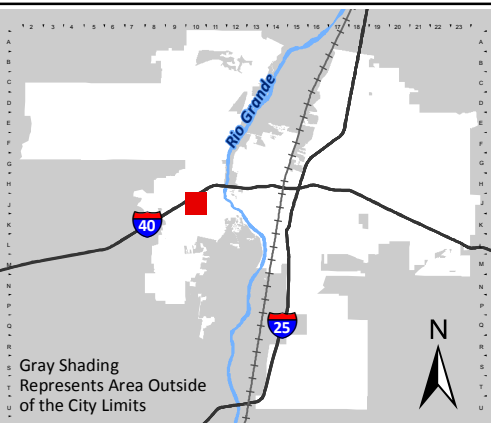
IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

Zone Atlas Page:
J-10-Z

-  Easement
-  Escarpment
-  Petroglyph National Monument
-  Areas Outside of City Limits
-  Airport Protection Overlay (APO) Zone
-  Character Protection Overlay (CPO) Zone
-  Historic Protection Overlay (HPO) Zone
-  View Protection Overlay (VPO) Zone

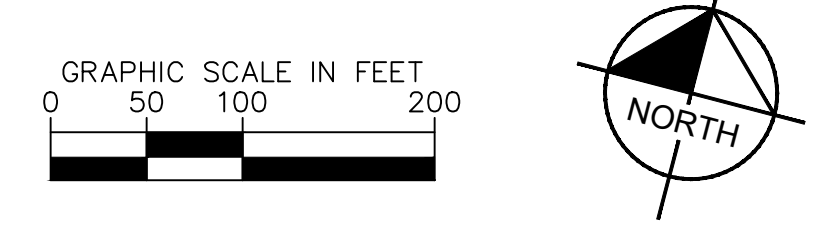
0 250 500 1,000 Feet



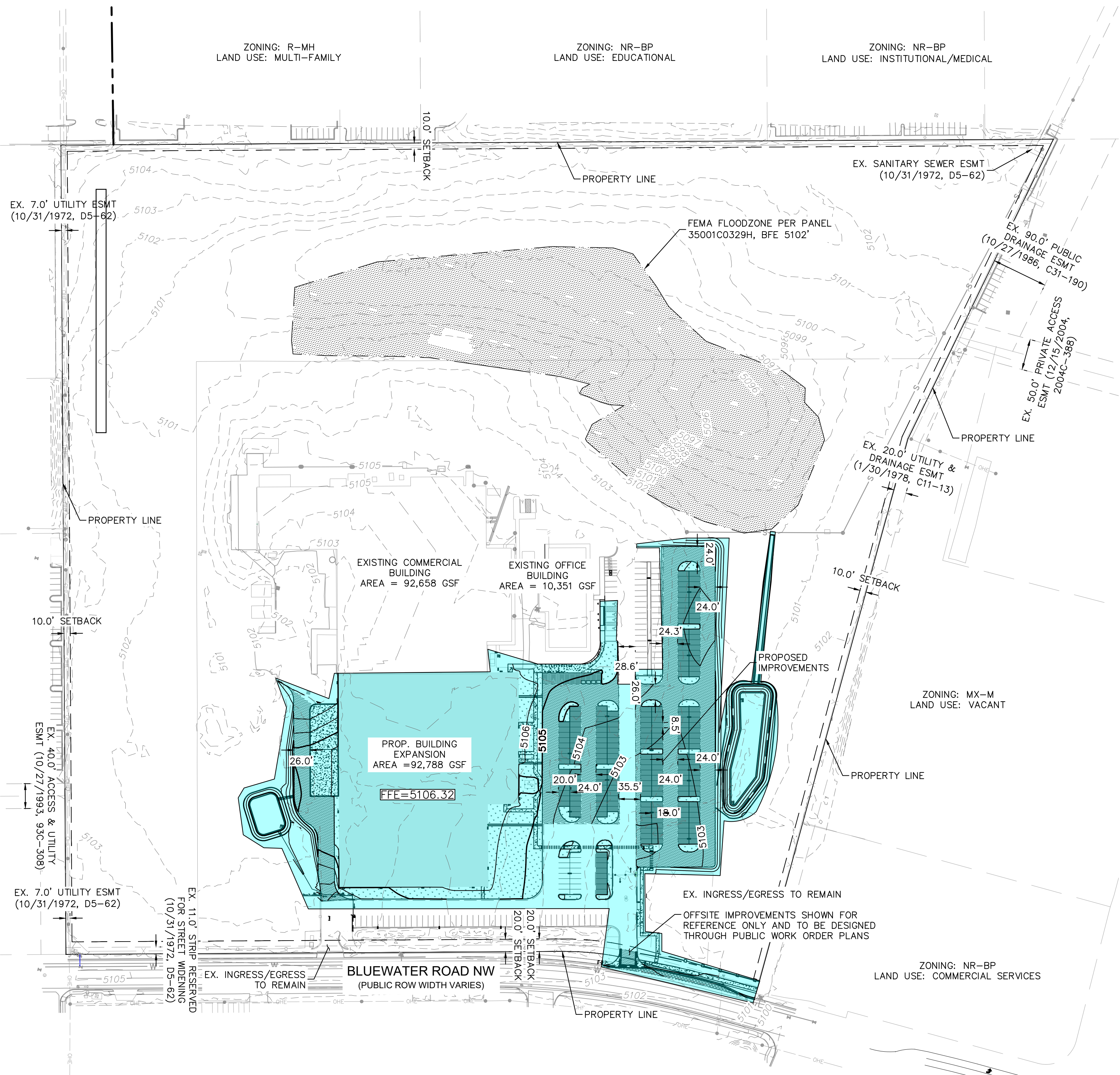


Gray Shading
Represents Area Outside
of the City Limits

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VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



SITE DEVELOPMENT DATA

- LEGAL DESCRIPTION:**
- TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES
- LAND AREA:**
- 39.775 ACRES
- ZONING:** NR-BP: NON-RESIDENTIAL / BUSINESS PARK
PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING
- BUILDING AREAS:**
- EXISTING - ±103,000 SF
 - PROPOSED - ±92,800 SF
 - TOTAL = ±195,800 SF
- DESIGN GUIDELINES:**
- THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), EFFECTIVE 7/17/2023.
- SET BACKS (IDO TABLE 2-5-3):**
- FRONT: 20 FEET
 - SIDE: 10 FEET
 - REAR: 10 FEET
- BUILDING HEIGHT (IDO TABLE 2-5-3):**
- ALLOWABLE MAX: 65 FEET
 - EXISTING MAX HEIGHT: 28 FEET
 - PROPOSED MAX HEIGHT: 32 FEET

PROJECT DESCRIPTION

COUNTY: BERNALILLO COUNTY
 ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121
 OWNER: AMERACE CORPORATION

PROJECT DESCRIPTION:

- THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF OF BUILDING COVERAGE.

SITE IMPROVEMENTS:

- THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM
- EGRESS AND INGRESS POINTS WILL REMAIN THE SAME
- A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.
- A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.
- EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

PARKING CALCULATIONS

	REQUIRED PER IDO	PROVIDED		
		EXISTING	NEW	TOTAL
TOTAL PARKING	240	99	269	368
ACCESSIBLE (8.5 X 20)	5	2	7	9 (2 VAN)
MOTORCYCLE (4X8 MIN)	6	4	2	6
BICYCLE (4X8)	20	0	20	20
EV CHARGING	0	0	4	4
LOADING SPACES (12X65, 10X25)	2	6 (12X65)	1 (10X25)	7
REQUIRED SPACES	212	89	246	335
STANDARD SIZES (8.5X18)	1 SPACE / 1,000 SF (F-1) = 186 2.5* SPACE / 1,000 SF (B) = 26			

*REDUCED FROM 3.5 TO 2.5 DUE TO 600' FROM MAIN CORRIDOR

LEGEND

- AREA OF PROPOSED IMPROVEMENTS
- EXISTING CONSTRUCTION TO REMAIN AND BE PROTECTED

REFER TO DETAILED SITE PLAN (SHEET C2.0) FOR DETAILED CALLOUTS

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 ©2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 08/01/2024

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 OVERALL SITE PLAN

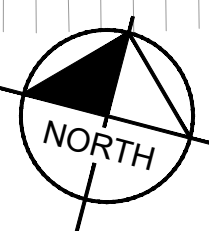
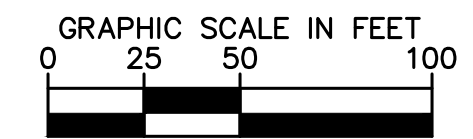
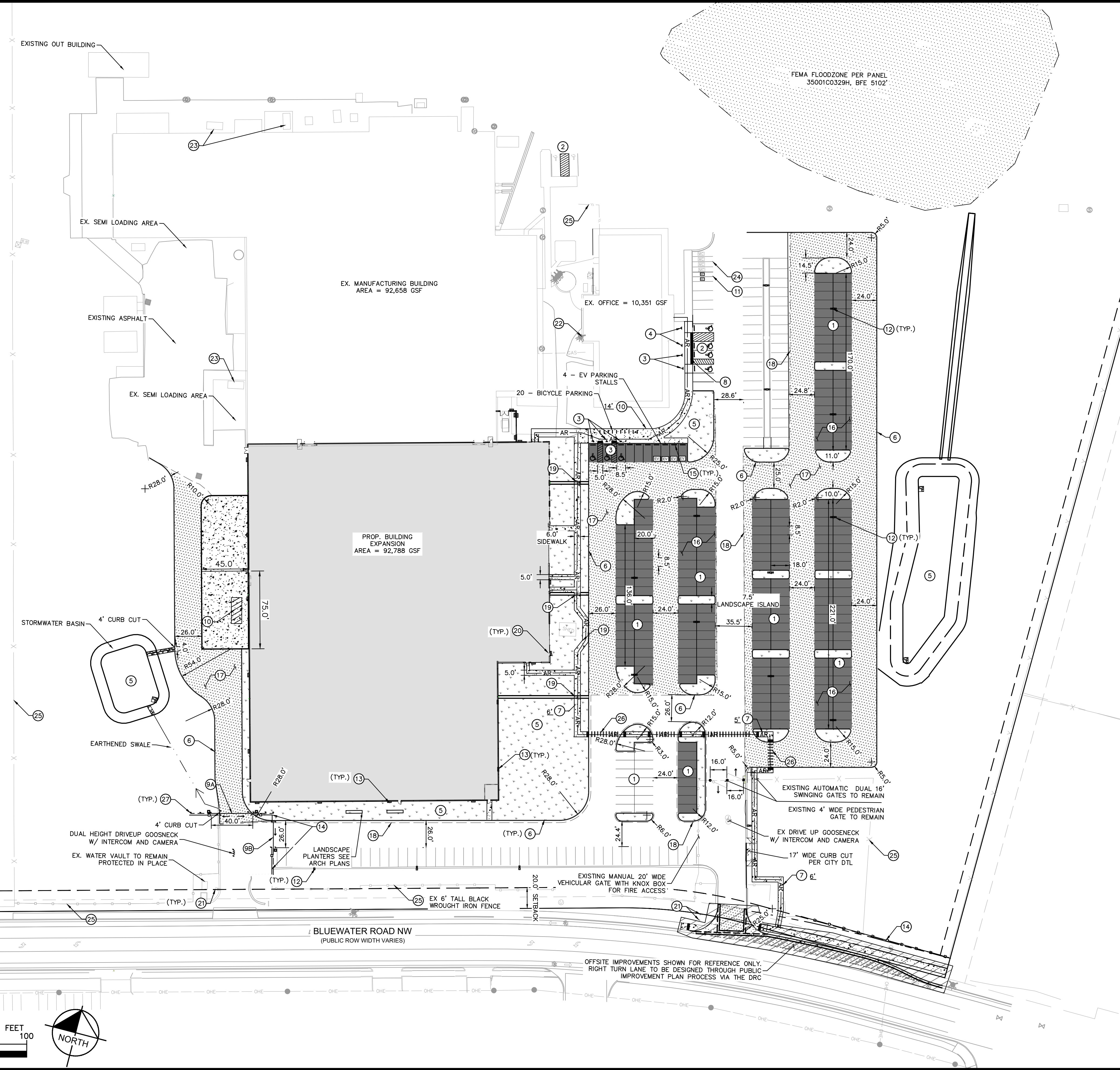
PRELIMINARY
 FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

SHEET

C1.0

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LEGEND:

- PROPERTY LINE
- ADJACENT SECTION LINE
- EX. UTILITY ESMT
- EX. WROUGHT IRON FENCE
- EX. CHAIN LINK FENCE
- ⊗ EX. FIRE HYDRANT/VALVE
- ⊗ EX. FLAGPOLE
- ⊙ EX. SITE LIGHT
- EX. SIGN
- PROP. 6" VERTICAL CURB PER CITY DTL
- ▒ PROP. BUILDING (SEE ARCH PLANS)
- ▒ PROP. HEAVY DUTY ASPHALT
- ▒ PROP. LIGHT DUTY ASPHALT
- ▒ PROP. CONCRETE
- ▒ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
- AR ACCESSIBLE ROUTE
- ⊞ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
- PROPOSED SIGN, TYPE PER KEYNOTES

KEYNOTE LEGEND:

1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.2)
4	VAN ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.2)
5	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
8	PROP. ACCESSIBLE CURB RAMP
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.2)
9B	PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.2)
10	PROP. TEMPORARY LOADING ZONE (10X25)
11	PROP. MOTORCYCLE STALL (4' X 8' MIN)
12	NEW LIGHT POLE (SEE LIGHTING PLANS)
13	NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14	NEW 6' BLACK WROUGHT IRON FENCE (SEE SHEET C1.2)
15	WHEEL STOP
16	LIGHT DUTY PAVEMENT
17	HEAVY DUTY PAVEMENT
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDs
27	BOLLARDS PER CITY DETAIL 2250

DIMENSION NOTES:

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
3. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
4. ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.

NO.	REVISION	BY	DATE	APPR

Kimley»Horn
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 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

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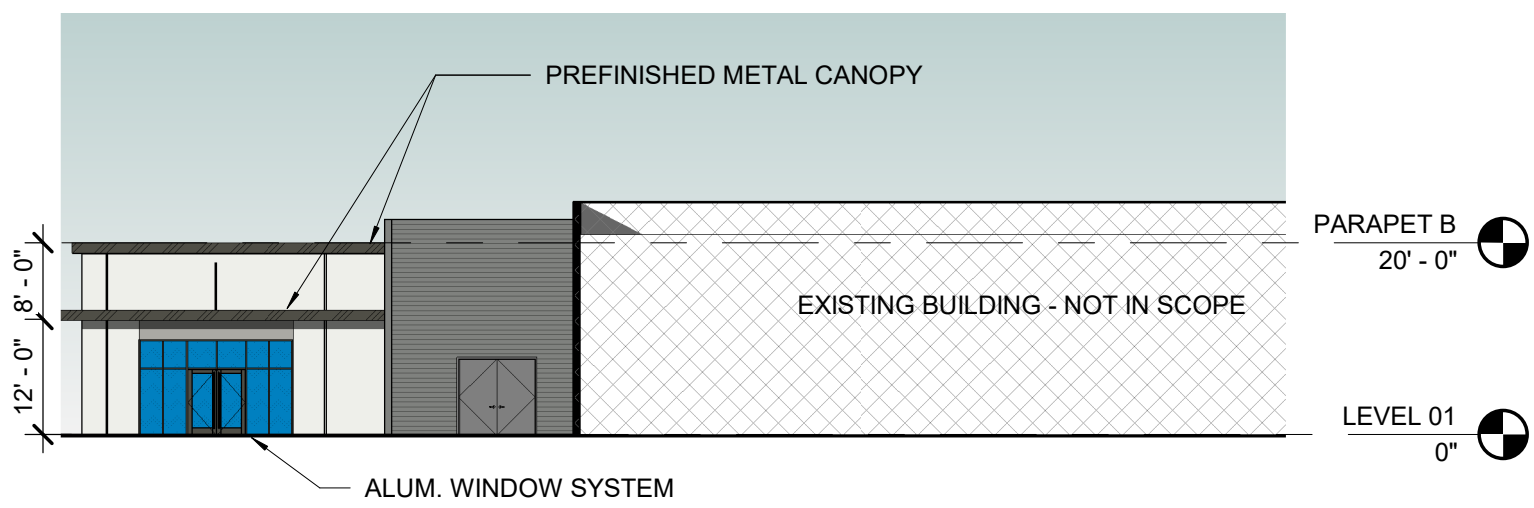
ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 DETAILED SITE PLAN

PRELIMINARY
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 Kimley»Horn
 Kimley-Horn and Associates, Inc.

PROJECT NO.
096523009

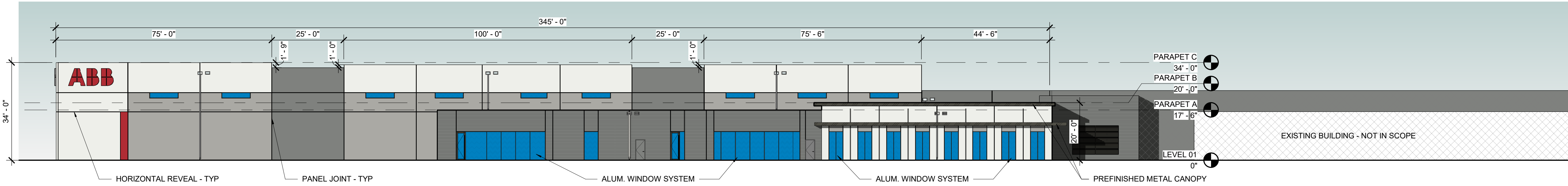
SHEET
C1.1

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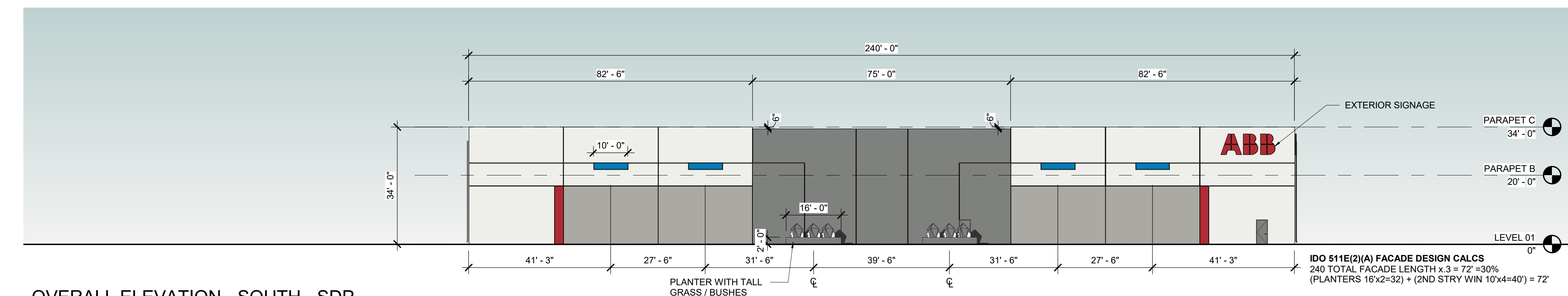
OVERALL ELEVATION - NORTH - SDP

SCALE: 1" = 20'-0"



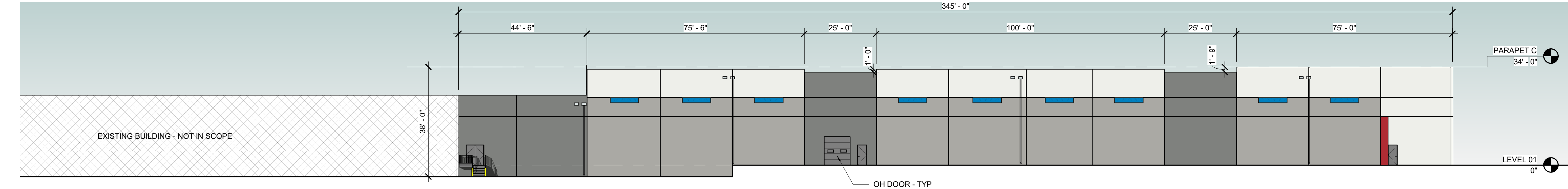
OVERALL ELEVATION - EAST - SDP

SCALE: 1" = 20'-0"



OVERALL ELEVATION - SOUTH - SDP

SCALE: 1" = 20'-0"



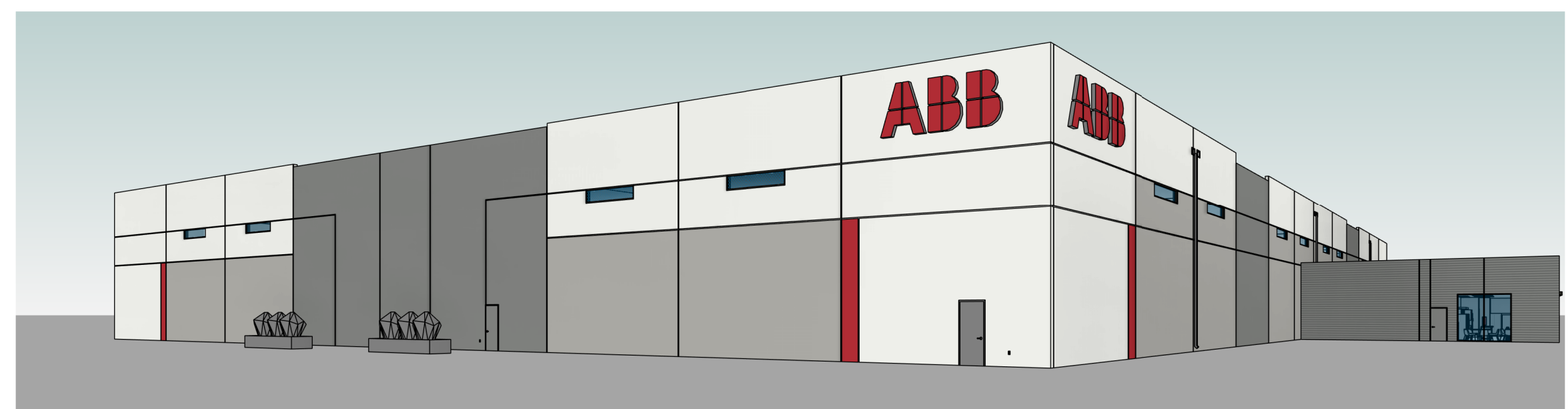
OVERALL ELEVATION - WEST - SDP

SCALE: 1" = 20'-0"



3D VIEW @ NE CORNER

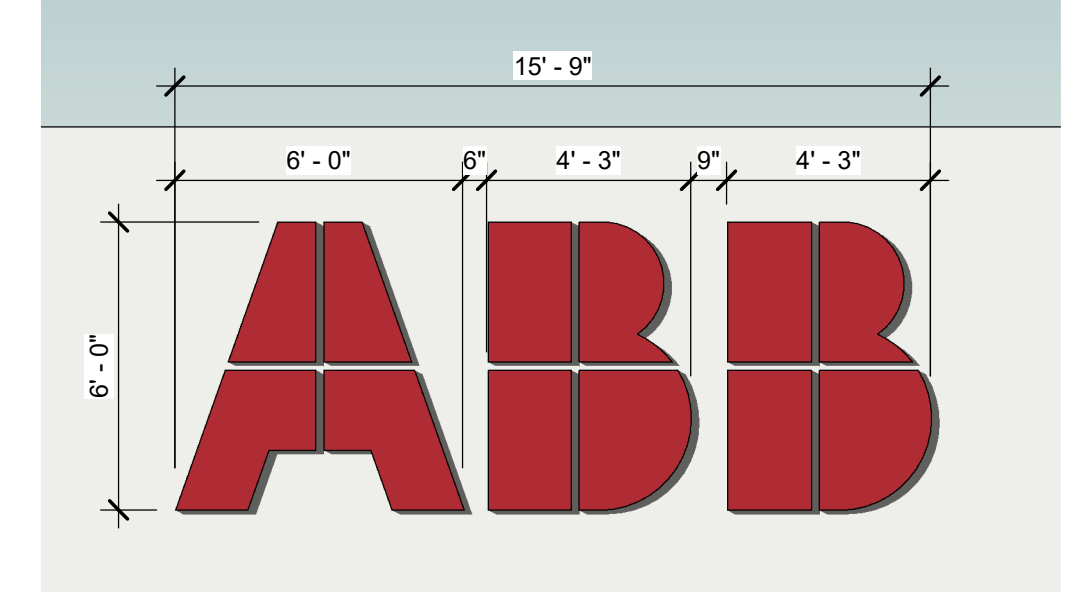
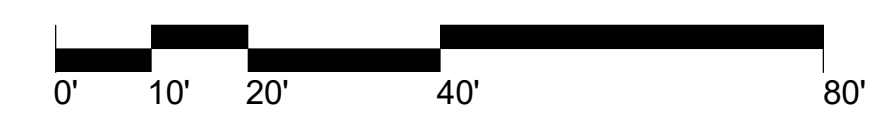
SCALE:



3D VIEW @ SE CORNER

SCALE:

- FIELD PAINT - EXTRA WHITE SW 70006
- ACCENT PAINT 1 - ELLIE GRAY SW7650
- ACCENT PAINT 2 - CITYSCAPE SW7067
- ACCENT PAINT 3 - POSITIVE RED 6871
- ACCENT PAINT 2 WITH FORMLINER
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



SIGN NOTES:
 SIGN AREA: 66 SF
 TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN
 MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

EXTERIOR SIGNAGE - ABB LOGO

SCALE: 1/4" = 1'-0"

NO.	REVISION	BY	DATE	APPR.

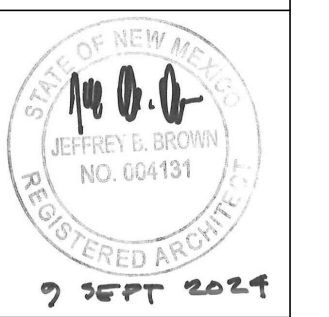
2150 W 29th Ave,
 Suite 400
 Denver, Colorado 80211
 303.225.3345
 www.powersbrown.com

**POWERS
 brown
 archit
 ecture**

DESIGNED BY: MF
 DRAWN BY: MF
 CHECKED BY: KS
 DATE: 01/05/2023

LEGAL DESCRIPTION:
 TRACT A, ATRISCO
 BUSINESS PARK, UNIT 1
 CONTAINING 39.775 ACRES

ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 BUILDING ELEVATIONS



PROJECT NO. 096523009

SHEET AX.X OF XX

Jurewicz, Madison

From: Jurewicz, Madison
Sent: Tuesday, January 9, 2024 2:21 PM
To: Jerry Gallegos; luis@wccd.org
Subject: Albuquerque Neighborhood Association Notification : ABB ABQ Addition
Attachments: NA Notice_PreSub.pdf

Hello Jerry and Luis,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4 (k) Public Notice, we are notifying you as a Neighborhood Association/s that we will be submitting an application to the Development Facilitation Team (DFT) for Site Plan Administrative approval. Before submitting our application it is required we provide notice to NAs of the opportunity to hold a meeting to discuss the project.

We had emailed your Neighborhood Association back in August regarding a Major Amendment to an existing Site Plan-EPC located at 6625 Bluewater Road NW and a meeting was held on 9/5. The Site Plan is now onto the next City review process and the design has evolved further, however the overall design remains consistent.

Please respond by 9/22 if you would be/would not be interested in a public hearing and neighborhood meeting. The plans have further developed from the first notification that had been sent out, but the overall design remains consistent.

Thank you,

Madison Jurewicz, EIT

Kimley-Horn | 380 Interlocken Crescent, Suite 100, Broomfield, CO 80021

Direct: 720 464 2539

Connect with us: [Twitter](#) | [LinkedIn](#) | [Facebook](#) | [Instagram](#) | [Kimley-Horn.com](#)

Jurewicz, Madison

From: Jurewicz, Madison
Sent: Tuesday, January 9, 2024 2:21 PM
To: Doug Cooper; Ted Trujillo
Subject: Albuquerque Neighborhood Association Notification : ABB ABQ Addition
Attachments: NA Notice_PreSub.pdf

Hello Doug and Ted,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4 (k) Public Notice, we are notifying you as a Neighborhood Association/s that we will be submitting an application to the Development Facilitation Team (DFT) for Site Plan Administrative approval. Before submitting our application it is required we provide notice to NAs of the opportunity to hold a meeting to discuss the project.

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Thank you,

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Direct: 720 464 2539

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[Note: Items with an asterisk (*) are required.]

Public Notice of a Proposed Project in the City of Albuquerque Administrative Review/Decision – Electronic Mail

Date of Notice*: 1/31/2024

This notice of an application for a proposed project is provided as required by Integrated Development Ordinance (IDO) [Subsection 14-16-6-4\(K\) Public Notice](#) to:

Neighborhood Association (NA) *: Los Volcanes NA and SWAN Coalition

Name of NA Representative*: See attached Neighborhood Contact List

Email Address* or Mailing Address* of NA Representative¹: See attached Neighborhood Contact List

Information Required by [IDO Subsection 14-16-6-4\(K\)\(1\)\(a\)](#)

1. Subject Property Address* 6625 Bluewater Rd NW, Albuquerque, NM 87121
Location Description _____
2. Property Owner* Amerace Corporation
3. Agent/Applicant* [if applicable] Madison Jurewicz @ Kimley-Horn and Associates
4. Application(s) Type* per IDO [Table 6-1-1](#)
 - Historic Certificate of Appropriateness – Minor
 - Sign Permit
 - Alternative Signage Plan
 - Wall/Fence Permit
 - Site Plan – Administrative²

Summary of project/request*:

A Site Plan is proposed for an approximate 93,000 gsf building expansion to the existing 93,000 gsf manufacturing building. The expansion project proposes rework of existing site parking lot. A Major Amendment NA meeting was held on 9/5/2023 regarding the project.

5. This application will be decided by staff. Please contact devhelp@cabq.gov or call the Planning Department at 505-924-3860 to speak with staff.

¹ Pursuant to [IDO Subsection 14-16-6-4\(K\)\(5\)\(a\)](#), email is sufficient if on file with the Office of Neighborhood Coordination. If no email address is on file for a particular NA representative, notice must be mailed to the mailing address on file for that representative.

² Usually submitted and reviewed as part of building permit application, which can be searched by address here: <https://posse.cabq.gov/posse/pub/lms/Login.aspx>

[Note: Items with an asterisk (*) are required.]

6. Where more information about the project can be found³:
Please email madison.jurewicz@kimley-horn.com
-

Information Required for Email Notice by [IDO Subsection 6-4\(K\)\(1\)\(b\)](#):

1. Zone Atlas Page(s)⁴ J-10-Z & K-10-Z
2. Architectural drawings, elevations of the proposed building(s) or other illustrations of the proposed application, as relevant^{*}: Attached to notice or provided via website noted above
3. The following exceptions to IDO standards have been requested for this project^{*}:

- Deviation(s) Variance(s)⁵ Waiver(s)⁶

Explanation^{*}:

Non-Applicable

4. Pre-submittal Neighborhood Meeting: Not Required
5. **For Site Plan – Administrative Applications only^{*}**, attach site plan showing, at a minimum:
- a. Location of proposed buildings and landscape areas. ^{*}
 - b. Access and circulation for vehicles and pedestrians. ^{*}
 - c. Maximum height of any proposed structures, with building elevations. ^{*}
 - d. **For residential development^{*}**: Maximum number of proposed dwelling units.
 - e. **For non-residential development^{*}**:
 - Total gross floor area of proposed project.
 - Gross floor area for each proposed use.

Additional Information:

From the IDO Zoning Map⁷:

1. Area of Property [typically in acres] 39.8 acres
2. IDO Zone District NR-BP
3. Overlay Zone(s) [if applicable] Character Protection Over Zone 3-4
4. Center or Corridor Area [if applicable] _____

³ Address (mailing or email), phone number, or website to be provided by the applicant

⁴ Available online here: <http://data.cabq.gov/business/zoneatlas/>

⁵ Separate notice is required for Variances.

⁶ Separate notice is required for Waivers.

⁷ Available here: <https://tinurl.com/idozoningmap>

[Note: Items with an asterisk (*) are required.]

Current Land Use(s) [vacant, if none] Light Manufacturing

NOTE: Pursuant to [IDO Subsection 14-16-6-4\(L\)](#), property owners within 330 feet and Neighborhood Associations within 660 feet may request a post-submittal facilitated meeting within 15 days of the date of this notice. To request a facilitated meeting regarding this project, contact the Planning Department at devhelp@cabq.gov or 505-924-3955.

Useful Links

Integrated Development Ordinance (IDO):

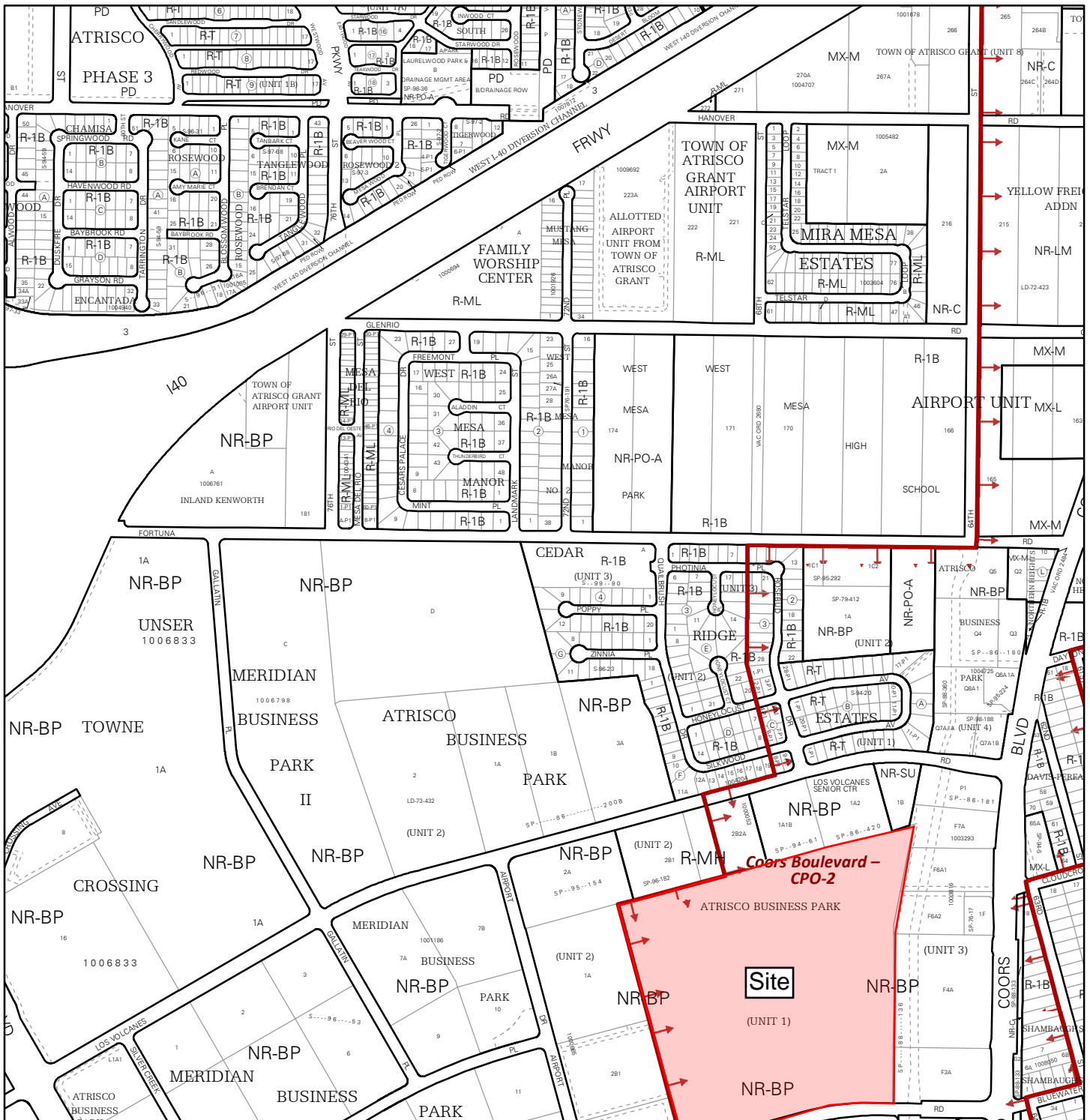
<https://ido.abc-zone.com/>

IDO Interactive Map

<https://tinyurl.com/IDOzoningmap>


Cc: _____ [Other Neighborhood Associations, if any]

Association Name	Association Email	First Name	Last Name	Email
Los Volcanes NA		Doug	Cooper	douglascooper@hotmail.com
Los Volcanes NA		Ted	Trujillo	nedcarla@live.com
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccd@gmail.com	Luis	Hernandez Jr.	luis@wccd.org
South West Alliance of Neighborhoods (SWAN Coalition)	jgallegoswccd@gmail.com	Jerry	Gallegos	jgallegoswccd@gmail.com

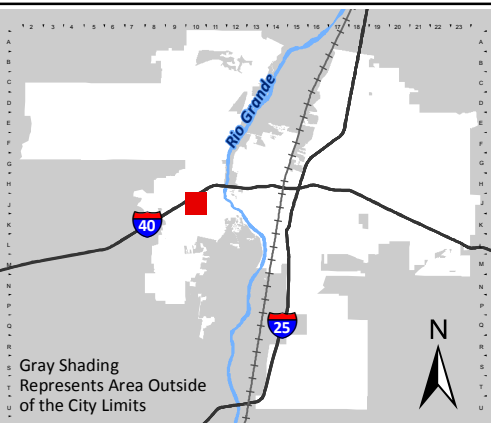


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

IDO Zone Atlas May 2018











IDO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
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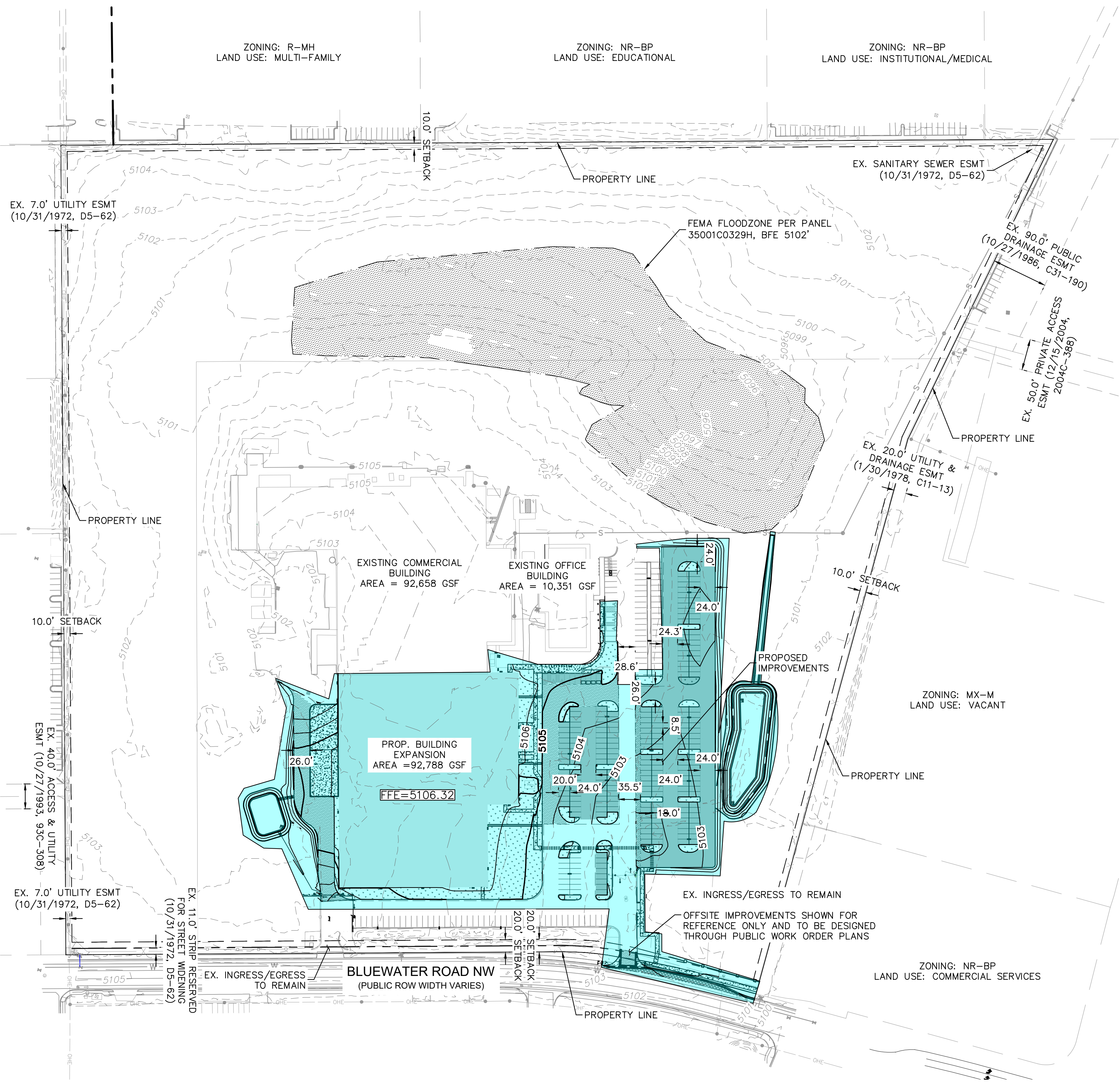
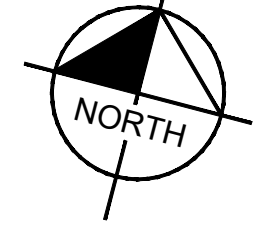
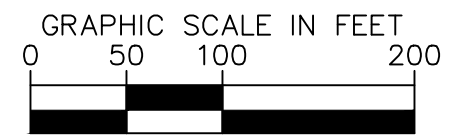
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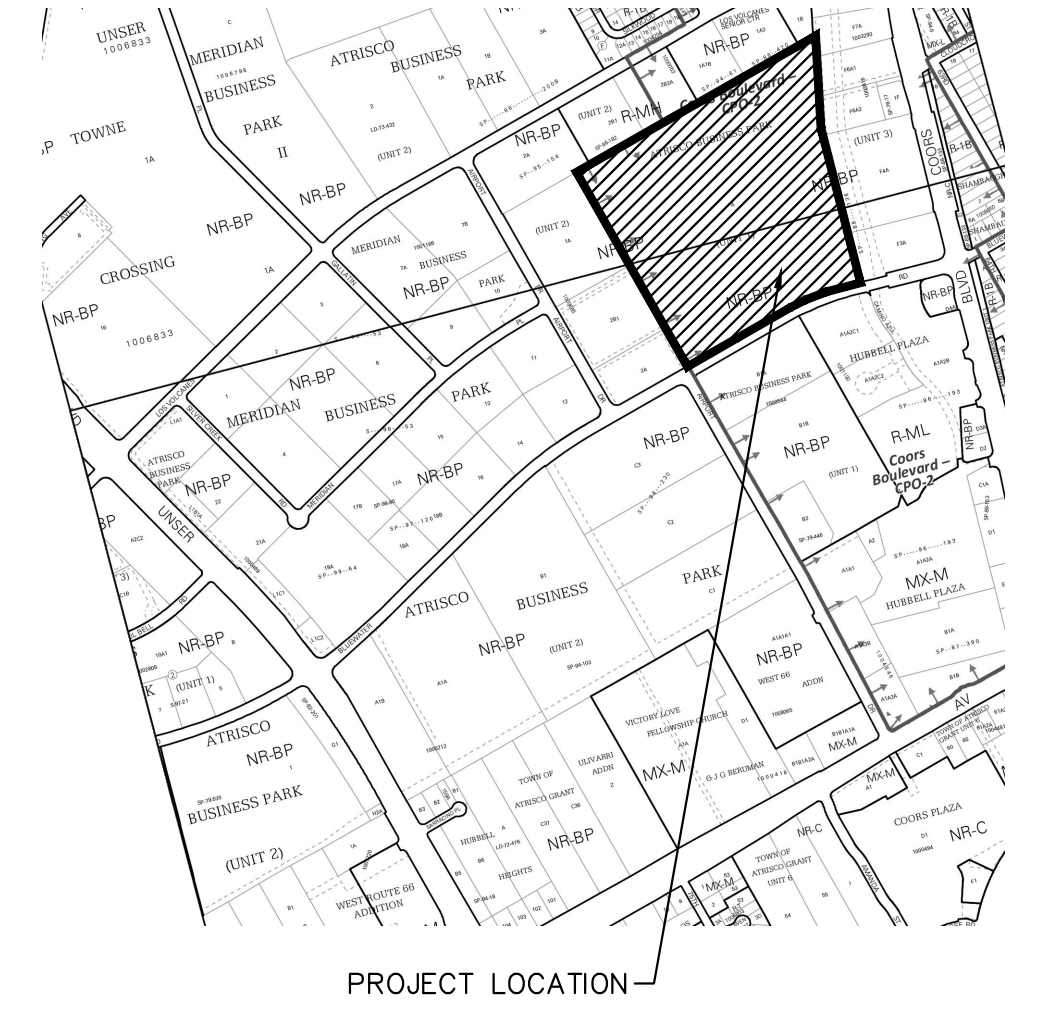
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Sheet List Table	
Sheet Number	Sheet Title
C1.0	OVERALL SITE PLAN
C1.1	DETAILED SITE PLAN
C1.2	SITE PLAN DETAILS
C2.0	SOLID WASTE PLAN
C3.0	CONCEPT TRAFFIC CIRCULATION LAYOUT
C3.1	SITE TRIANGLES AND DETAILS SHEET
F1	FIRE 1 PLAN
D1	CONCEPTUAL EXISTING DRAINAGE EXHIBIT
D2	CONCEPTUAL GRADING & DRAINAGE PLAN
D3	HYDROLOGY DATA
C4.0	PRIVATE UTILITY PLAN
C5.0	OVERALL LANDSCAPE PLAN
C5.1	DETAILED LANDSCAPE PLAN
C5.2	DETAILED LANDSCAPE PLAN
C5.3	DETAILED LANDSCAPE PLAN
C5.4	DETAILED LANDSCAPE PLAN
C5.5	LANDSCAPE NOTES
C5.6	LANDSCAPE DETAILS
C5.7	LANDSCAPE DETAILS
E1.01	SITE PHOTOMETRICS
A1.0	BUILDING ELEVATIONS

VICINITY MAP - ZONE ATLAS PAGES: K-10-Z & J-10-Z



SITE DEVELOPMENT DATA

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 • TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES

LAND AREA:
 • 39.775 ACRES

ZONING: NR-BP: NON-RESIDENTIAL / BUSINESS PARK
 PERMISSIVE PRIMARY USE AS LIGHT MANUFACTURING

BUILDING AREAS:
 • EXISTING - ±103,000 SF
 • PROPOSED - ±92,800 SF
 • TOTAL - ±195,800 SF

DESIGN GUIDELINES:
 • THE PROJECT HAS BEEN DEVELOPED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTEGRATED DEVELOPMENT ORDINANCE (IDO), EFFECTIVE 7/17/2023.

SET BACKS (IDO TABLE 2-5-3):
 • FRONT: 20 FEET
 • SIDE: 10 FEET
 • REAR: 10 FEET

BUILDING HEIGHT (IDO TABLE 2-5-3):
 • ALLOWABLE MAX: 65 FEET
 • EXISTING MAX HEIGHT: 28 FEET
 • PROPOSED MAX HEIGHT: 32 FEET

PROJECT DESCRIPTION

COUNTY: BERNALILLO COUNTY
 ADDRESS: 6625 BLUEWATER ROAD NW, ALBUQUERQUE, NM 87121
 OWNER: AMERACE CORPORATION

PROJECT DESCRIPTION:
 • THE PROJECT IS CONSTRUCTING A NEW 90,000 SF BUILDING WITH ASSOCIATED PARKING. A NEW FIRE MAIN EXTENSION WILL ALSO BE CONSTRUCTED FOR THE NEW BUILDING. THE EXISTING SITE HAS 103,000 SF OF BUILDING COVERAGE. THE PROPOSED SITE WILL HAVE 192,000 SF OF BUILDING COVERAGE.

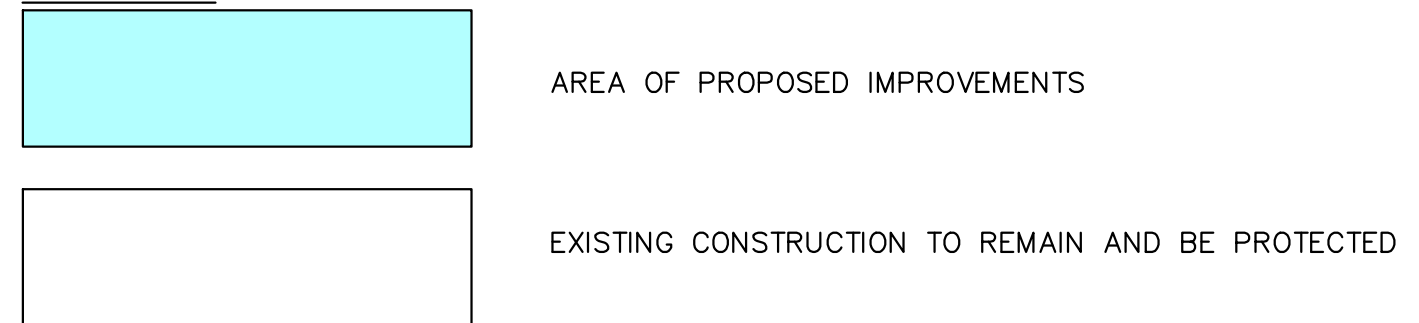
SITE IMPROVEMENTS:
 • THE PROJECT WILL PROVIDE LANDSCAPE IMPROVEMENTS TO MEET AT LEAST CODE MINIMUM
 • EGRESS AND INGRESS POINTS WILL REMAIN THE SAME
 • A FIRE ACCESS LANE WILL BE PROVIDED FOR THE PROJECT.
 • A NEW 90,000 SF BUILDING IS PROPOSED FOR THE PROJECT.
 • EXISTING PARKING SPACES THAT OVERLAP THE NEW BUILDING LOCATION WILL BE RELOCATED ON THE EASTERN PORTION OF THE PROJECT.

PARKING CALCULATIONS

PARKING DATA TABLE				
	REQUIRED PER IDO	PROVIDED		
		EXISTING	NEW	TOTAL
TOTAL PARKING	240	99	269	368
ACCESSIBLE (8.5 X 20)	5	2	7	9 (2 VAN)
MOTORCYCLE (4X8 MIN)	6	4	2	6
BICYCLE (4X8)	20	0	20	20
EV CHARGING	0	0	4	4
LOADING SPACES (12X65, 10X25)	2	6 (12X65)	1 (10X25)	7
REQUIRED SPACES	212	89	246	335
STANDARD SIZES (8.5X18)	1 SPACE / 1,000 SF (F-1) = 186 2.5* SPACE / 1,000 SF (B) = 26			

*REDUCED FROM 3.5 TO 2.5 DUE TO 600' FROM MAIN CORRIDOR

LEGEND



REFER TO DETAILED SITE PLAN (SHEET C2.0) FOR DETAILED CALLOUTS

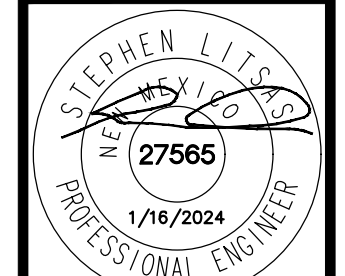
NO.	REVISION	BY	DATE	APPR

Kimley»Horn
 ©2023 KIMLEY-HORN AND ASSOCIATES, INC.
 6200 South Syracuse Way, Suite 500
 Greenwood Village, Colorado 80111 (303) 228-2300

DESIGNED BY: MEJ
 DRAWN BY: MEJ
 CHECKED BY: SAL
 DATE: 30/01/2024

LEGAL DESCRIPTION:
 TRACT A ATRISCO BUSINESS
 PARK UNIT 1 CONTAINING
 39.775 ACRES

ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 OVERALL SITE PLAN

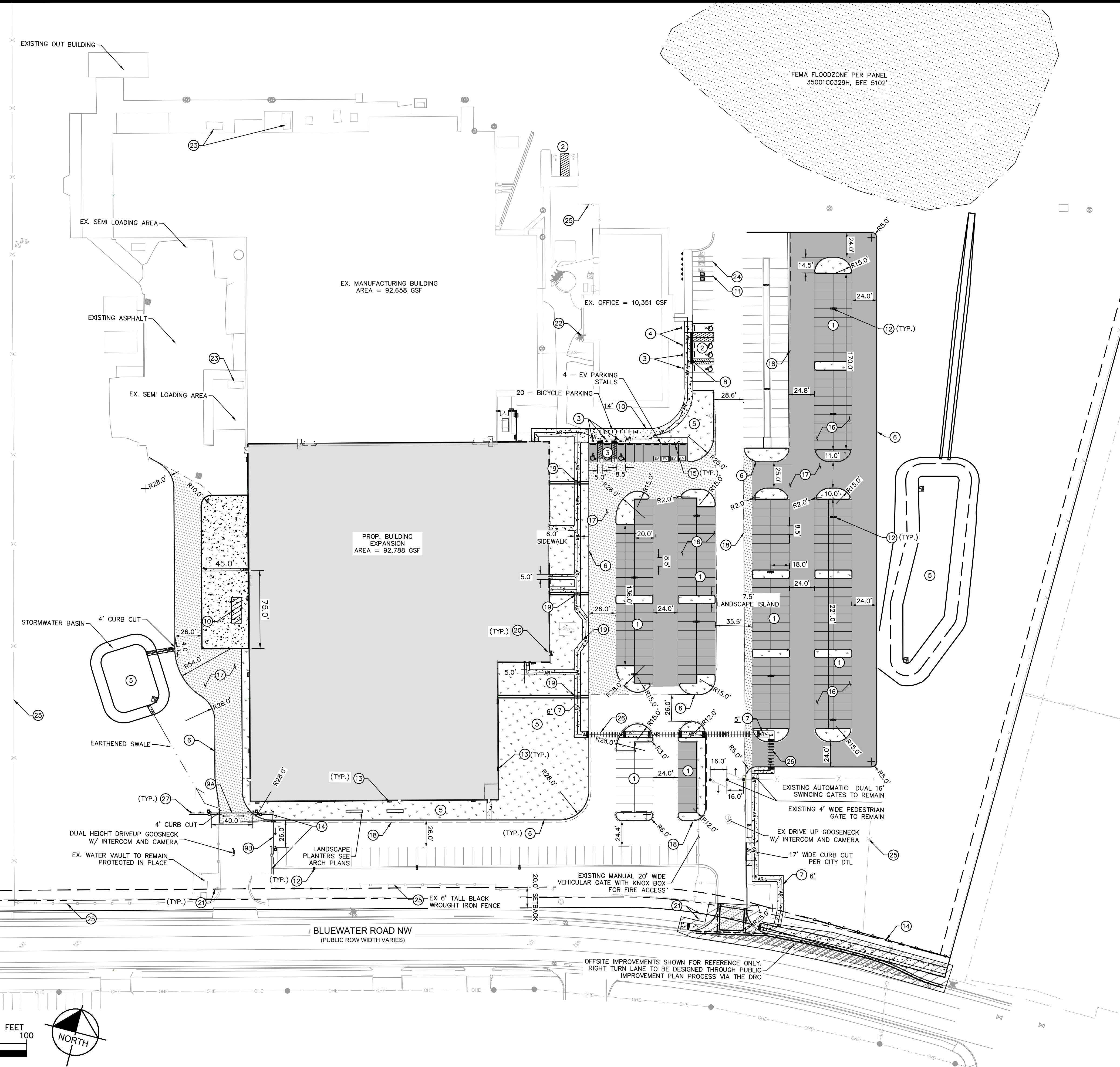


PROJECT NO.
096523009

SHEET

C1.0

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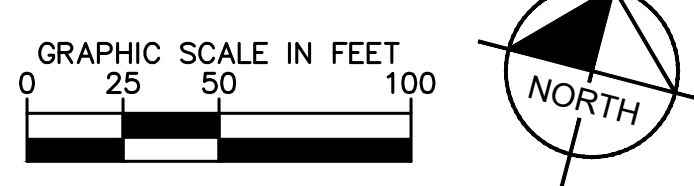


- LEGEND:**
- PROPERTY LINE
 - - - ADJACENT SECTION LINE
 - - - EX. UTILITY ESMT
 - - - EX. WROUGHT IRON FENCE
 - - - EX. CHAIN LINK FENCE
 - ⊗ EX. FIRE HYDRANT/VALVE
 - ⊗ EX. FLAGPOLE
 - ⊙ EX. SITE LIGHT
 - EX. SIGN
 - PROP. 6" VERTICAL CURB PER CITY DTL
 - ▒ PROP. BUILDING (SEE ARCH PLANS)
 - ▒ PROP. HEAVY DUTY ASPHALT
 - ▒ PROP. LIGHT DUTY ASPHALT
 - ▒ PROP. CONCRETE
 - ▒ PROP. LANDSCAPE (SEE LANDSCAPE PLANS)
 - AR ACCESSIBLE ROUTE
 - ⊞ PROP. POLE MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
 - ⊞ PROP. BUILDING MOUNTED EXTERIOR LIGHTING (SEE LIGHTING PLAN)
 - PROP. SIGN, TYPE PER KEYNOTES

KEYNOTE LEGEND:

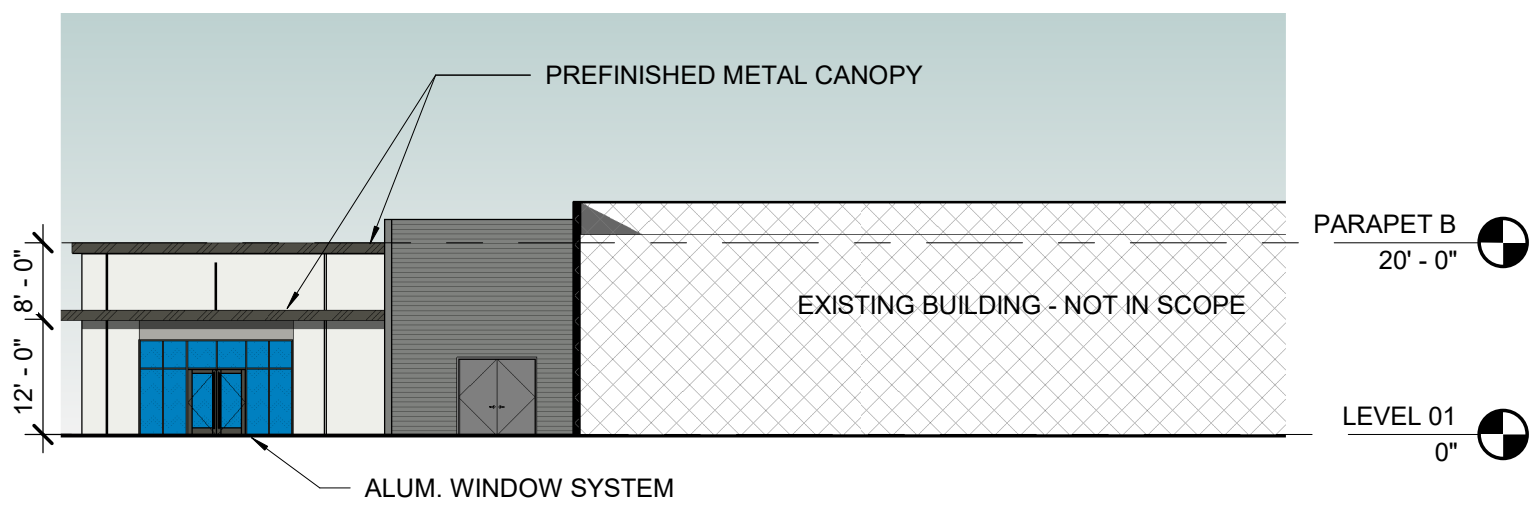
1	PROP. STANDARD 8.5'X18' PARKING STALLS
2	PROP. 8.5'X18' ACCESSIBLE PARKING STALLS
3	ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.2)
4	VAN ACCESSIBLE PARKING SIGN (SEE DTL ON SHEET C1.2)
5	PROP. LANDSCAPING (REFER TO LANDSCAPE PLANS)
6	PROP. 6" VERTICAL CURB PER CITY DETAIL 2415A
7	PROP. CONCRETE SIDEWALK WIDTH PER PLAN (SEE DTL SHEET C3.1)
8	ACCESSIBLE CURB RAMP PER CITY DTL 2441, 2443, 2445, 2448)
9A	PROP. 40' AUTOMATIC CANTILEVER GATE W/ KNOX BOX (SEE DTL SHEET C1.2)
9B	PROP. 26' AUTOMATIC SLIDING CANTILEVER GATE W/ KNOX BOX (SEE DTL ON SHEET C1.2)
10	PROP. TEMPORARY LOADING ZONE (10X25)
11	PROP. MOTORCYCLE STALL (4' X 8') W/ MOTORCYCLE PARKING SIGN
12	NEW LIGHT POLE (SEE LIGHTING PLANS)
13	NEW WALL MOUNTED LIGHTING (SEE LIGHTING PLANS)
14	NEW 6" BLACK WROUGHT IRON FENCE (SEE SHEET C1.2)
15	WHEEL STOP
16	LIGHT DUTY PAVEMENT (SEE DTL SHEET C3.1)
17	HEAVY DUTY PAVEMENT (SEE DTL SHEET C3.1)
18	SAWCUT LINE
19	PROP. SIDEWALK CHASE
20	EX. LIGHT POLES (TO REMAIN)
21	EX. SIGNAGE (TO REMAIN)
22	EX. FIRE HYDRANTS (TO REMAIN)
23	EXISTING OPEN TOP ROLL TRASH CONTAINER
24	EX. MOTORCYCLE PARKING (TO REMAIN)
25	EX. SITE SECURITY FENCING (TO REMAIN)
26	PROP. CROSS WALK STRIPING PER CITY STDs
27	BOLLARDS PER CITY DETAIL 2250

- DIMENSION NOTES:**
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 - REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTINGS.
 - ALL CURB RETURN RADIUS TO BE 28', 25', 15' OR 2' UNLESS OTHERWISE NOTED.



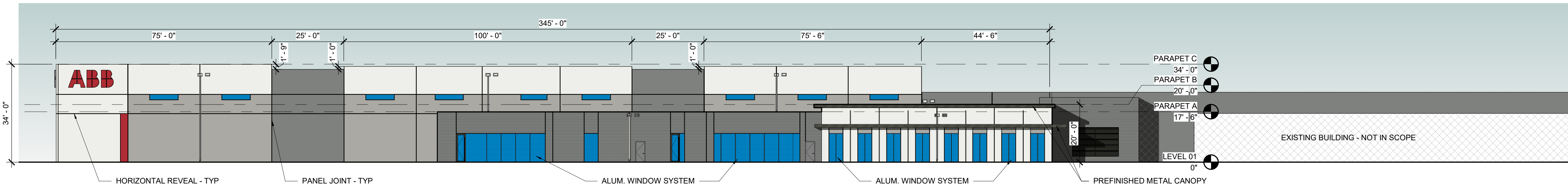
Kimley»Horn	©2023 KIMLEY-HORN AND ASSOCIATES, INC. 6200 South Syracuse Way, Suite 500 Greenwood Village, Colorado 80111 (303) 228-2300						
LEGAL DESCRIPTION: TRACT A ATRISCO BUSINESS PARK UNIT 1 CONTAINING 39.775 ACRES	DESIGNED BY: MEJ DRAWN BY: MEJ CHECKED BY: SAL DATE: 30/01/2024						
ABB ABQ ADDITION 6625 BLUEWATER ROAD NW SITE PLAN - DFT DETAILED SITE PLAN							
PROJECT NO. 096523009	SHEET C1.1						

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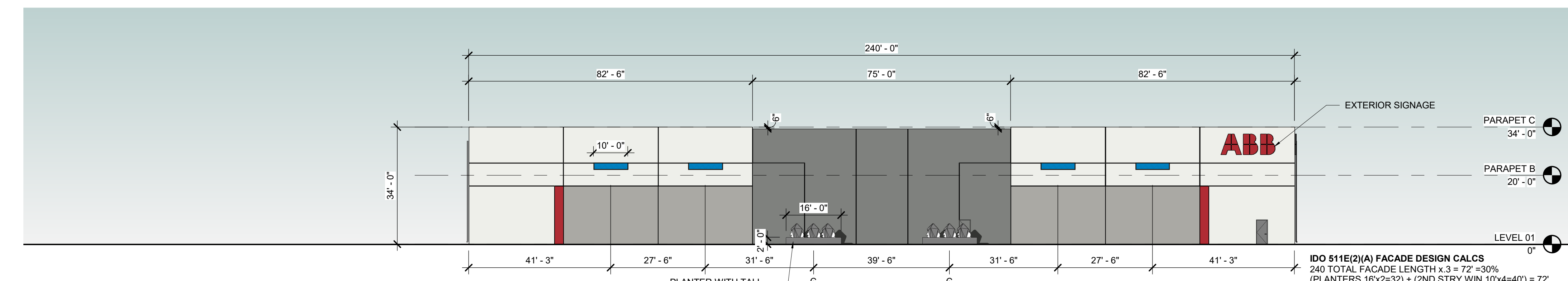
OVERALL ELEVATION - NORTH - SDP

SCALE: 1" = 20'-0"



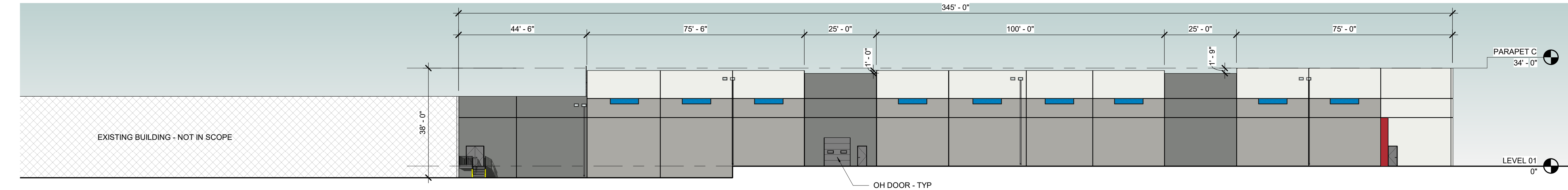
OVERALL ELEVATION - EAST - SDP

SCALE: 1" = 20'-0"



OVERALL ELEVATION - SOUTH - SDP

SCALE: 1" = 20'-0"



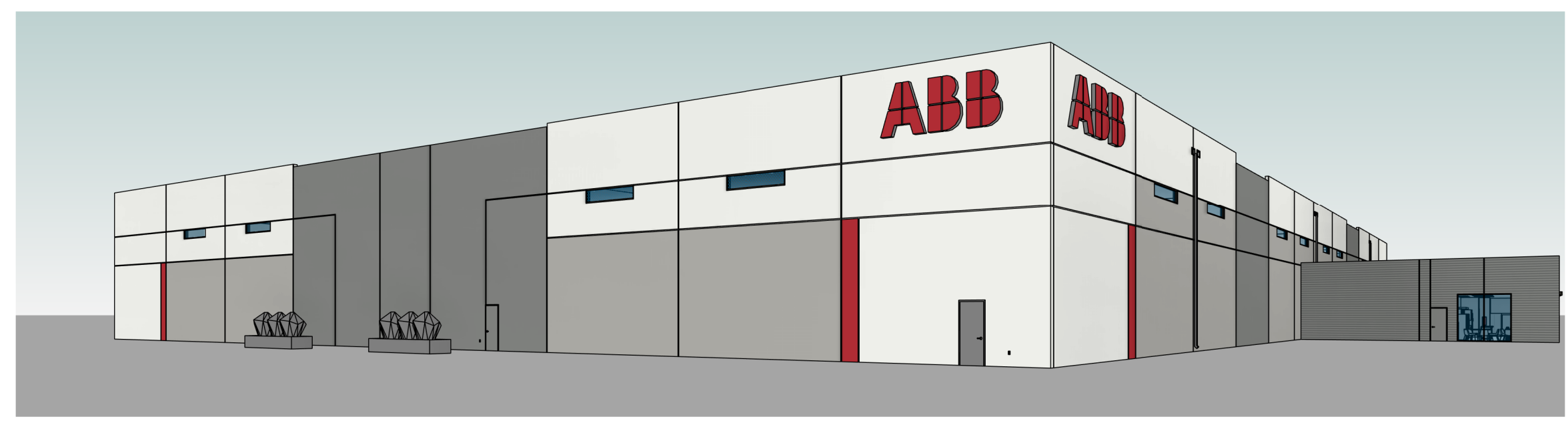
OVERALL ELEVATION - WEST - SDP

SCALE: 1" = 20'-0"



3D VIEW @ NE CORNER

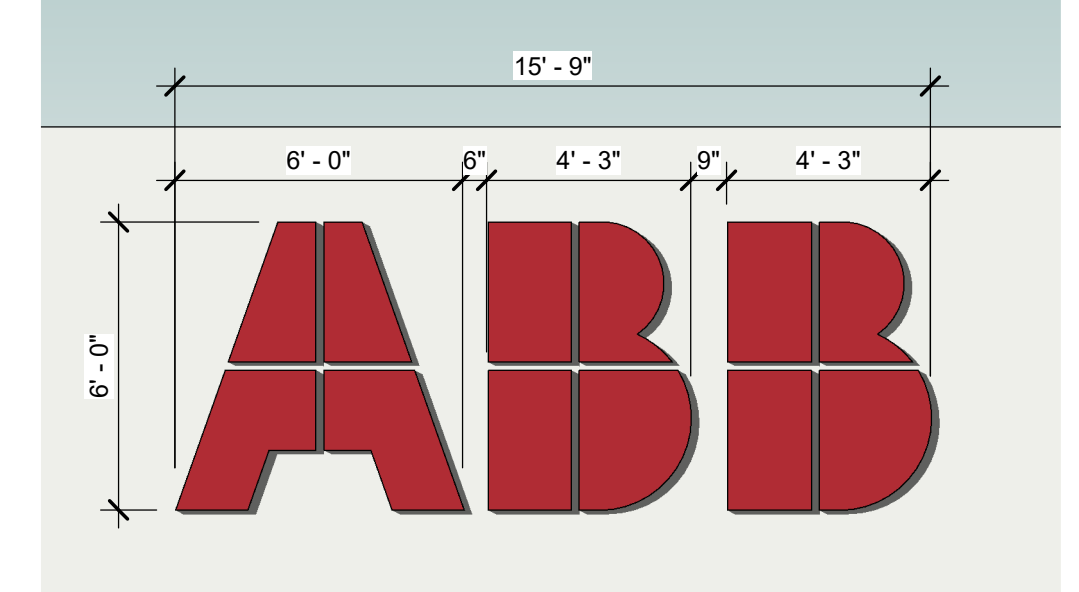
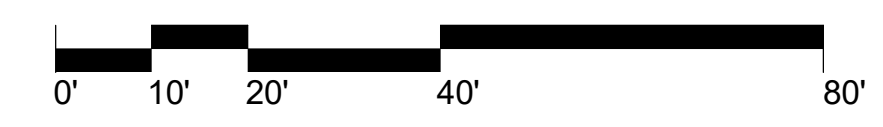
SCALE:



3D VIEW @ SE CORNER

SCALE:

- FIELD PAINT - EXTRA WHITE SW 70006
- ACCENT PAINT 1 - ELLIE GRAY SW7650
- ACCENT PAINT 2 - CITYSCAPE SW7067
- ACCENT PAINT 3 - POSITIVE RED 6871
- ACCENT PAINT 2 WITH FORMLINER
- VISION GLAZING
- PREFINISHED METAL CANOPY/STOREFRONT - DARK BRONZE



SIGN NOTES:
 SIGN AREA: 66 SF
 TYPE: INTERIOR ILLUMINATED WALL MOUNTED BUILDING SIGN
 MATERIALS: TRANSLUCENT ACRYLIC LENS WITH EXTRUDED ALUMINUM BACKING/MOUNTING PLATE

EXTERIOR SIGNAGE - ABB LOGO

SCALE: 1/4" = 1'-0"

IDO 511E(2)(A) FACADE DESIGN CALCS
 240 TOTAL FACADE LENGTH x .3 = 72' = 30%
 (PLANTERS 16'x2=32) + (2ND STRY WIN 10'x4=40) = 72'

NO.	REVISION	BY	DATE	APPR.

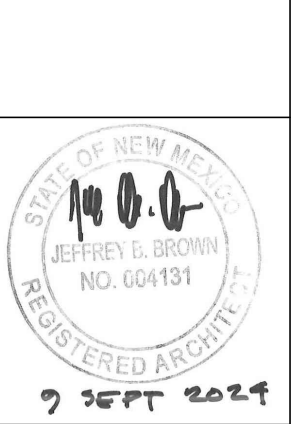
2150 W 29th Ave,
 Suite 400
 Denver, Colorado 80211
 303.225.3345
 www.powersbrown.com

**POWERS
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DESIGNED BY: MF
 DRAWN BY: MF
 CHECKED BY: KS
 DATE: 01/05/2023

LEGAL DESCRIPTION:
 TRACT A, ATRISCO
 BUSINESS PARK, UNIT 1
 CONTAINING 39.775 ACRES

ABB ABQ ADDITION
 6625 BLUEWATER ROAD NW
 SITE PLAN - DFT
 BUILDING ELEVATIONS



PROJECT NO. 096523009

SHEET A1.0

Jurewicz, Madison

From: Jurewicz, Madison
Sent: Wednesday, January 31, 2024 8:37 AM
To: Jerry Gallegos; luis@wccdg.org
Subject: Albuquerque Neighborhood Association Notification : ABB ABQ Addition
Attachments: 19_NA Notice.pdf

Hello Jerry and Luis,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4 (k) Public Notice, we are notifying you as a Neighborhood Association/s that we will be submitting an application to the Development Facilitation Team (DFT) for Site Plan Administrative approval. Please see the attached notice and site plan. We will be submitted for the 2/14 DFT review meeting.

Thank you,

Madison Jurewicz, EIT

Kimley-Horn | 380 Interlocken Crescent, Suite 100, Broomfield, CO 80021

Direct: 720 464 2539

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Upcoming Out of Office: 2/2 - 2/10

Jurewicz, Madison

From: Jurewicz, Madison
Sent: Wednesday, January 31, 2024 8:38 AM
To: Doug Cooper; Ted Trujillo
Cc: Phelps, Randall
Subject: Albuquerque Neighborhood Association Notification : ABB ABQ Addition
Attachments: 19_NA Notice.pdf

Hello Doug and Ted,

In accordance with the procedures of the City of Albuquerque's Integrated Development Ordinance (IDO) Subsection 14-16-6-4 (k) Public Notice, we are notifying you as a Neighborhood Association/s that we will be submitting an application to the Development Facilitation Team (DFT) for Site Plan Administrative approval. Please see the attached notice and site plan. We will be submitted for the 2/14 DFT review meeting.

Thank you,

Madison Jurewicz, EIT
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Direct: 720 464 2539
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Upcoming Out of Office: 2/2 - 2/10